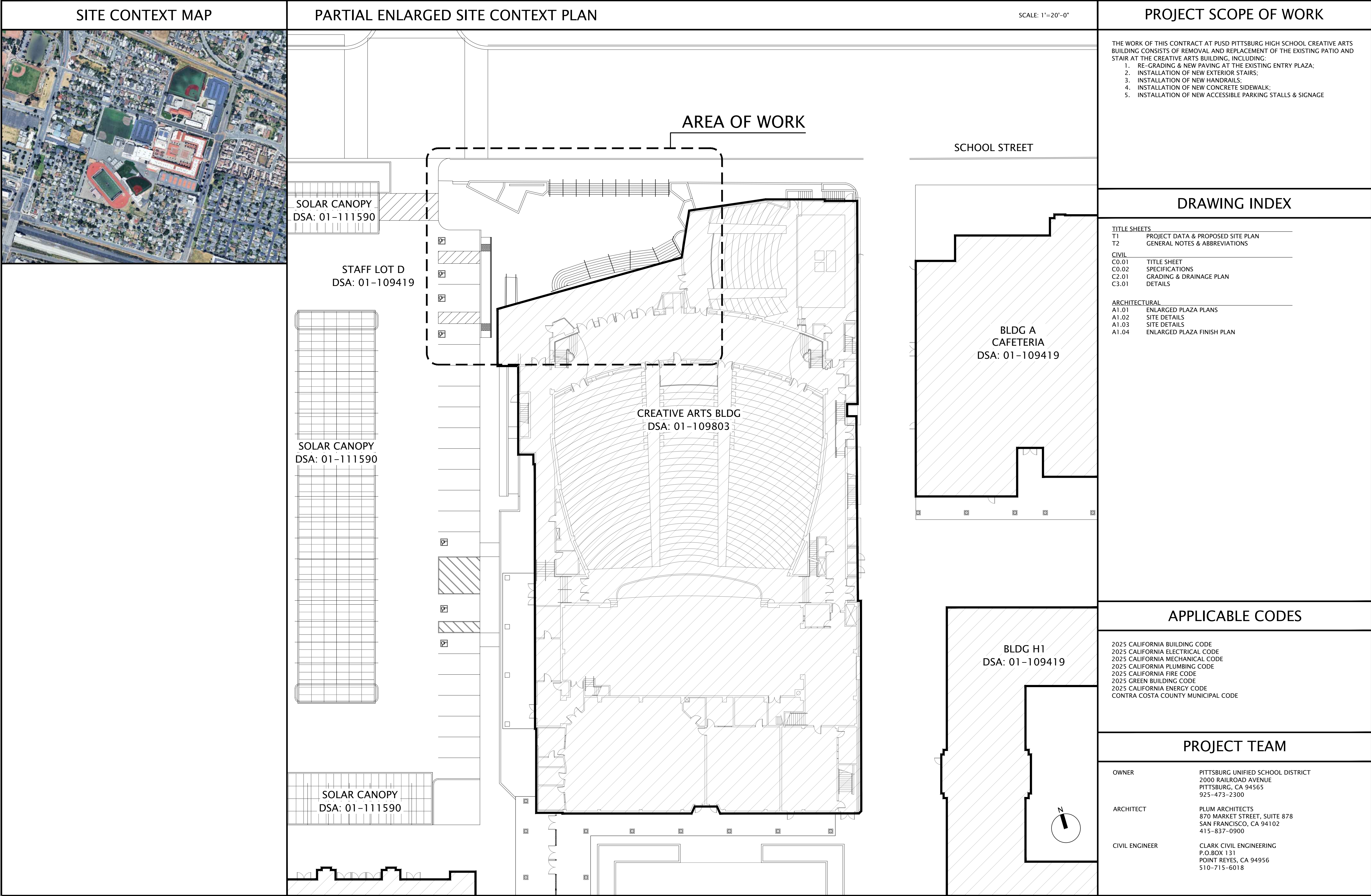


CREATIVE ARTS BUILDING ENTRY PLAZA MODERNIZATION

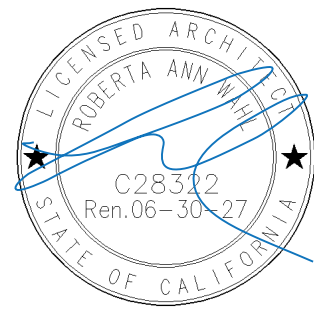
PITTSBURG HIGH SCHOOL – 1750 HARBOR STREET, PITTSBURG, CA 94565

PITTSBURG UNIFIED SCHOOL DISTRICT, BID NO. 26-016



PLUM | architects

870 Market St, Ste 878, San Francisco, CA 94102
TEL: 415-837-0900



Revisions	
INITIAL SCHEMES	06/02/26
SCHEMATIC DESIGN	06/23/26
100% CD	07/25/26

Project 2604
**Pittsburg High
School Creative Arts
Building Entry Plaza
Modernization**

1750 Harbor Street
Pittsburg, CA 94565
Pittsburg Unified School District

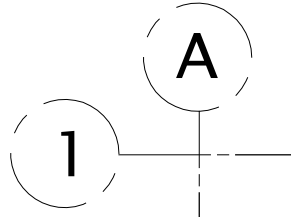
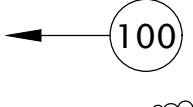
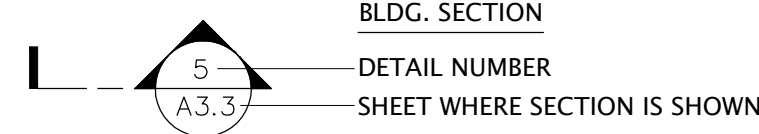
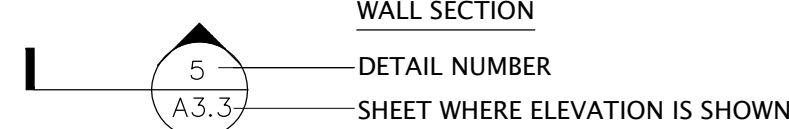
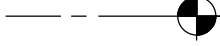
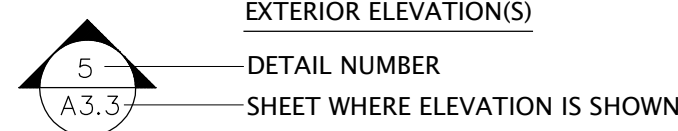
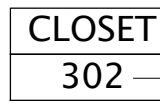
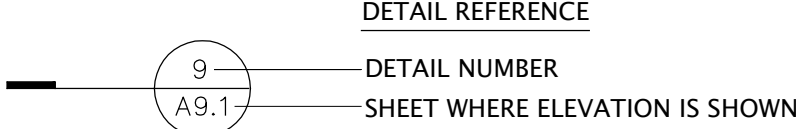
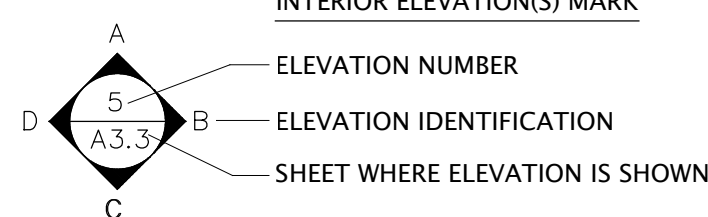
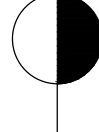
Sheet
**PROJECT DATA &
PROPOSED SITE PLAN**

T1

Date
July 20, 2026

ABBREVIATIONS

&	AND	ELEC.	ELECTRICAL	LTC.	LIGHTING	RWD.	REDWOOD
∠	ANGLE	ELEV.	ELEVATION	MARB.	MARBLE	RDWD.	REDWOOD
@	AT	EMER.	EMERGENCY	MAS.	MASONRY	S.	SOUTH
⦶	CENTERLINE	EN.	ENAMEL	MAT.	MATERIAL	S.&V.	SATIN & VARNISH
Ø	DIAMETER or ROUNDED	ENCL.	ENCLOSURE	MAX.	MAXIMUM	S.C.	SOLID CORE
#	POUND or NUMBER	E.P.	ELECTRICAL PANELBOARD	M.B.	MACHINE BOLT	S.C.D.	SEAT COVER DISPENSER
d	PENNY	EQ.	EQUAL	M.C.	MEDICINE CHEST	S.E.D.	SEE ELECTRICAL DWGS.
A.A.C.	ADHESIVE-APPLIED	EQ.J.	EARTHQUAKE JOINT	MECH.	MECHANICAL	SCHED.	SCHEDULE(ED)
	ACOUSTIC TILE	EQUIP.	EQUIPMENT	MEMB.	MEMBRANE	S.D.	SOAP DISPENSER or STORM DRAIN
A.B.	ANCHOR BOLT	EST.	ESTIMATE	MFR.	MANUFACTURER		
ABV.	ABOVE	E.W.	EACH WAY	MH.	MANHOLE	S.S.	SELF-DRILLING SCREW
AC	ASPHALT CONCRETE	E.W.C.	ELECTRIC WATER COOLER	MIN.	MINIMUM	SECT.	SECTION
ACC.S.	ACCESS or ACCESSIBLE	EXC.	EXCAVATE(ED)	MIR.	MIRROR	SH.	SHOWER
ACOUS.	ACOUSTIC	EX.H.	EXHAUST	MISC.	MISCELLANEOUS	SHT.	SHEET
ACT	ACOUSTICAL TILE	EXP.	EXPPOSED	MLDG.	MOULDING	SHTG.	SHEATHING
A.D.	AREA DRAIN	EXPAN.	EXPANSION	M.L.P.	METAL LATH & PLASTER	SIM.	SIMILAR
A.D.A.	AMERICANS W/ DISABILITIES	EXT.	EXTERIOR	M.O.	MASONRY OPENING	SL.	SLOPE
	ACT	EXTR.	EXTRUDED	M.S.	MACHINE SCREW	S.L.D.	SEE LANDSCAPE DWGS.
ADDN.	ADDITION	F.A.	FIRE ALARM	MTD.	MOUNTED	S.M.D.	SEE MECHANICAL DWGS.
ADH.	ADHESIVE	FAB.	FABRICATE	MTL.	METAL	SMS	SHEET METAL SCREW
ADJ.	ADJUST or ADJUSTABLE	F.B.	FLAT BAR	MUL.	MULLION	S.N.D.	SANITARY NAPKIN DISPENSER
A.F.F.	ABOVE FINISHED FLOOR	F.A.U.	FORCED AIR UNIT	(N)	NEW	S.N.R.	SANITARY NAPKIN RECEPTACLE
AGGR.	AGGREGATE	F.B.O.	FURNISHED BY OTHERS	N.	NORTH	S.O.G.	SLAB ON GRADE
AL.	ALUMINUM	F.C.	FURRED CEILING	NEG.	NEGATIVE	S.P.D.	SEE PLUMBING DWGS.
ALT.	ALTERNATE	F.D.	FLOOR DRAIN	N.I.C.	NOT IN CONTRACT	SPEC.	SPECIFICATIONS
A.P.	ACCESS PANEL	FDN.	FOUNDATION	NO.	NUMBER	SQ.	SQUARE
APPO.	APPROVED	F.E.	FIRE EXTINGUISHER	N.T.S.	NOT TO SCALE	S.S.D.	SEE STRUCTURAL DWGS.
APPROX.	APPROXIMATE	F.E.C.	FIRE EXTINGUISHER CABINET	O/	OVER	S.	SOUTH
ARCH.	ARCHITECTURAL	FEDSPEC	FEDERAL SPECIFICATION	O.A.	OVERALL	SK.	SINK
ASPH.	ASPHALT	F.F.	FINISHED FLOOR	OBS.	OBSCURE	S.ST.L., S.S.	STAINLESS STEEL
BAL.	BALANCING	F.H.	FIRE HYDRANT	O.C.	ON CENTER	STA.	STATION
BARR.	BARRIER	F.H.C.	FIRE HOSE CABINET	O.D.	OUTSIDE DIAMETER	STD.	STANDARD
BD.	BOARD	F.H.S.	FLAT HEAD SCREW	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED	STER.	STERILIZER
BITUM.	BITUMINOUS	FIN.	FINISHED			STL.	STEEL
BLDG.	BUILDING	F.I.O.	FURNISHED & INSTALLED	O.F.D.	OVERFLOW DRAIN	STOR.	STORAGE
BLK.	BLOCK or BLOCKING		BY OWNER	OFF.	OFFICE	STRUCT.	STRUCTURAL
B.M.	BENCH MARK	F.J.	FORMED JOINT	O.F.C.	OVERFLOW SCUPPER	STS.	SELF-TAPPING SCREW
BOT.	BOTTOM	FLASH.	FLASHING	O.H.S.	OVAl HENd SCREW	SUB.	SUBSTITUTE
B.O.	BOTTOM OF	FLEX.	FLEXIBLE	OPNG.	OPENING	SUPT.	SUPERINTENDENT
BSMT.	BASEMENT	FLR.	FLOOR	OPP.	OPPOSITE	SUSP.	SUSPEND(ED)
B.U.R.	BUILT-UP ROOFING	FLUOR.	FLUORESCENT	O.R.S.	OFFICE OF REGIONAL SERVICES, D.S.A.	SYM.	SYMMETRICAL
C.TO C.	CENTER TO CENTER	F.O.C.	FACE OF CONCRETE			SYS.	SYSTEM
CAB.	CABINET	F.O.F.	FACE OF FINISH	O.H.	OVERHEAD	T.	TREAD
CAP.	CAPACITY	F.O.W.	FACE OF WALL	OZ.	OUNCE	T&G	TONGUE & GROOVE
C.B.	CATCH BASIN	F.O.I.C.	FURNISHED BY OWNER,	PARA.	PARALLEL	T&I	TESTING & INSPECTION
CEM.	CEMENT		INSTALLED BY CONTRACTOR	PART.	PARTITION	THERM.	THERMOSTAT
CER.	CERAMIC	F.O.S.	FACE OF STUD	PART.BD.	PARTICLE BOARD	TB.	TACKBOARD
C.G.	CORNER GUARD	FP.	FIREPROOF	P.B.	PANIC BAR	TC.	TERRACOTTA
CH.	CHANNEL	F.S.	FULL SIZE	PC.	PIECE or POINT OF CURVATURE	TEL.	TELEPHONE
CH.B.	CHALK BOARD	FT.	FEET or FOOT	PERF.	PERFORATED	TEMP.	TEMPORARY or TEMPERATURE
C.I.	CAST IRON	FTG.	FOOTING	PERP.	PERPENDICULAR	TERR.	TERRAZZO
CITY	CITY OF SAN FRANCISCO	FURR.	FURRING	PL.	PLATE	T.H.B.	TEMPER HARD BOARD
C.J.	CONTROL JOINT	FUT.	FUTURE	P.L.	PROPERTY LINE	THK.	THICK
C.L.	CHAIN LINK	GA.	GAUGE	P-LAM.	PLASTIC LAMINATE	THRESH.	THRESHOLD
CLG.	CEILING	GAL.	GALLON	PLAS.	PLASTER	THRU.	THROUGH
CLKG.	CAULKING	GALV.	GALVONZIED	PLY.	PLYWOOD	TLT.	TOILET
CLOS.	CLOSET	G.B.	GRAB BAR	PNL.	PANEL	T.O.	TOP OF
CLR.	CLEAR	GEN.	GENERAL	POL.	POLISHED	TOP.	TOPPING
C.M.S.	COUNTERSUNK MACHINE SCREW	GL.	GLASS	P.O.A.	PATH OF TRAVEL	T.O.C.	TOP OF CONCRETE
		GND.	GROUND	P.PL.	POLISHED PLATE	T.O.S.	TOP OF STEEL
C.M.U.	CONCRETE MASONRY UNIT	GOVT.	GOVERNMENT	PR.	PAIR	T.M.E.	TO MATCH EXISTING
C.O.	CASED OPENING	GR.	GRADE	PRCST.	PPRECAST	T.P.	TOP OF PAVING
COL.	COLUMN	G.S.M.	GALVANIZED SHEET METAL	PREFAB.	PREFABRICATE(D)	T.P.D.	TOILET PAPER DISPENSER
CONC.	CONCRETE	G.S.U.	GLAZED STRUCTURAL UNIT	PRELIM.	PRELIMINARY	T.S.	TUBE STEEL
CONN.	CONNECTION	G.W.B.	GYPsum WALL BOARD	PROJ.	PROJECT or PROJECTION	T.V.	TELEVISION
CONT.	CONTINUOUS	GYM.	GYMNASIUM	PROP.	PROPERTY	T.W.	TOP OF WALL
CONST.	CONSTRUCTION	GYP.	GYPsum	P.S.	PIPE STEEL	TYP.	TYPICAL
CONTR.	CONTRACTOR	H.	HIGH (DIM)	P.S.I.	POUNDS PER SQUARE INCH	U.H.	UNIT HEATER
CORR.	CORRIDOR	H.B.	HOSE BIB	P.S.F.	POUNDS PER SQUARE FOOT	UNFIN.	UNFINISHED
C.T.	CERAMIC TILE	H.C.	HOLLOW CORE	PT.	POINT	U.O.N.	UNLESS OTHERWISE NOTED
CTR.	CENTER	HDWD.	HARDWOOD	P.T.D.	PAPER TOWEL DISPENSER	U.O.S.	UNDERSIDE OF STEEL
CTSK.	COUNTERSINK(SUNK)	HDWE.	HARDWARE	P.T.D./R.	PAPER TOWEL DISPENSER & RECEPTACLE	URAL.	URINAL
DP.	DEEP	HGT.	HEIGHT			U.	UNIT
D.A.	DOUBLE ACTING	H.M.	HOLLOW METAL	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR	V.	VENTILATOR
DBL.	DOUBLE	HOL.	HOLLOW			VAR.	VARIES or VARIABLE
DEPT.	DEPARTMENT	HOR.	HORIZONTAL	P.T.R.	PAPER TOWEL RECEPTACLE	V.B.	VINYL BASE
DET.	DETAIL	H.P.	HIGH POINT	Q.T.	QUARRY TILE	V.C.T.	VINYL COMPOSITION TILE
D.F.	DRINKING FOUNTAIN	HR.	HOURL	QTR.	QUARTER	VERT.	VERTICAL
Ø	DIAMETER	HT.	HEIGHT	R.	RISER	VEST.	VESTIBULE
DIAM.	DIAMETER	H.W.H.	HOT WATER HEATER	RAD.	RADIUS	V.G.	VERTICAL GRAIN
DIAG.	DIAGONAL	I.D.	INSIDE DIAMETER	R.B.	RUBBER BASE	VOL.	VOLUME
DIM.	DIMENSION	IN.	INCH	R.C.P.	REFLECTED CEILING PLAIN	V.S.	VINYL SHEET
DISP.	DISPENSER	INCR.	INCREASE	R.D.	ROOF DRAIN	W.	WEST
DIV.	DIVISION	INFO.	INFORMATION	REC.	RECEIVE	W/	WITH
DG	DECOMPOSED GRANITE	INS.	INSULATION	REF.	REFERENCE	W/O	WITHOUT
DN.	DOWN	INT.	INTERIOR	REFA	REFRIGERATION	WAIN	WAINSCOT
DO.	DOOR OPENING	INV.	INVERT	REINF.	REINFORCED	W.C.	WATER CLOSET
DOM.	DOMESTIC	I.S.A.	INTERNATIONAL SYMBOL OF ACCESSIBILITY	REQD.	REQUIRED	W.C.A.	WHEEL CHAIR ACCESSIBLE
DP.	DAMPPOOFING			RES.	RESILIENT	WD.	WOOD
DR.	DOOR	JAN.	JANITOR	RET.	RETURN	W.F.	WIDE FLANGE (STEEL)
DS.	DOWNSPOUT	JST.	JOIST	REV.	REVISED or REVISION	W.GL.	WIRE GLASS
D.S.P.	DRY STANDPIPE	JT.	JOINT	RFG.	ROOFING	WH.B.	WHITE BOARD
D.S.A.	DIVISION OF STATE ARCHITECT	K.O.	KNOCK OUT	RGTR.	REGISTER	W.I.	WHERE INDICATED
DWG.	DRAWING	K.P.	KICK PLATE	RHS.	ROUND HEAD SCREW	WIND.	WINDOW
DWR.	DRAWER	L.	LONG (DIM)	R.I.	RIGID INSULATION	W.O.	WHERE OCCURS
(E)	EXISTING	LAB.	LABORATORY	R.L.	RAIN LEADER (INTERIOR)	W.P.	WATERPROOF
E.	EAST	LAM.	LAMINATE(ED)	RM.	ROOM	W.S.	WEATHERSTRIP
EA.	EACH	LAV.	LAVATORY	RND.	ROUND	WT.	WEIGHT
E.B.	EXPANSION BOLT	LIN.	LINEAR	R.O.	ROUGH OPENING	W.W.M.	WELDED WIRE MESH
E.J.	EXPANSION JOINT	LKR.	LOCKER	RSP	RESOURCE SPECIALIST CLASSRM	Y.D.	YARD DRAIN
EL.	ELEVATION	LT.	LIGHT	RUB.	RUBBER		

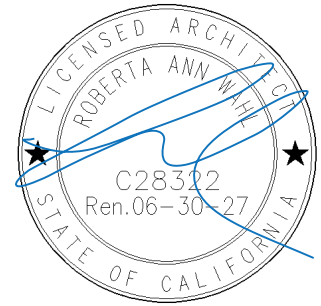
GENERAL NOTES CON'T.	
32. ALL CONSTRUCTION AND DEMOLITION SHALL BE IN COMPLIANCE WITH CFC & CBC CHAPTER 33, "FIRE LIFE SAFETY DURING CONSTRUCTION AND DEMOLITION", AND THE WRITTEN SITE FIRE SAFETY PLAN.	
33. CONTRACTOR SHALL COMPLY WITH CGBC SECTION 5.408 FOR REDIRECTION OF CONSTRUCTION WASTE, WASTE MANAGEMENT PLANS & DOCUMENTATION & RE-USE OF EXISTING SITE SOILS AS DIRECTED BY SPECIFICATIONS, PLANS & DRAWINGS.	
34. THE CONTRACT DOCUMENTS, INCLUDING THE SPECIFICATIONS, PLANS, AND DRAWINGS, ARE COMPLEMENTARY AND WHAT IS CALL FOR BY ANY ONE SHALL BE AS BINDING AS IF CALLED FOR BY ALL. IN CASE OF CONFLICT, LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL-SCALE DRAWINGS, THE SPECIFICATIONS SHALL GOVERN OVER BOTH THE CONSTRUCTION PROCEDURES MANUAL AND THE CONTRACT DRAWINGS EXCEPT AS NOTED HEREIN BELOW. SPECIAL PROVISIONS SHALL GOVERN OVER BOTH THE CONTRACT DRAWINGS AND THE GENERAL CONDITIONS, AND SUBSEQUENT ADDENDA, INTERPRETATIONS, OR CHANGE ORDERS SHALL GOVERN OVER THE ORIGINAL DOCUMENTS, UNLESS A DIFFERENT ORDER OF PRECEDENCE IS NOTED ELSEWHERE IN CONJUNCTION WITH A SPECIFIC PORTION OF THE DOCUMENTS.	
34.1. IN CASE OF CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE DOCUMENT CONTAINING ADDITIONAL QUANTITIES SHALL GOVERN IN MATTERS OF QUANTITY, THE DOCUMENT REQUIRING A HIGHER DEGREE OF QUALITY SHALL GOVERN IN MATTERS OF QUALITY. IN CASE OF CONFLICT WITHIN THE DRAWINGS INVOLVING QUANTITIES OR WITHIN THE SPECIFICATIONS INVOLVING QUALITY, THE GREATER QUANTITY AND THE HIGHER QUALITY SHALL BE FURNISHED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL SUCH QUANTITY AND QUALITY CONFLICTS AND SHALL AGREE UPON RESOLUTION, IN WRITING, PRIOR TO PROCEEDING.	
34.2. WHERE ON ANY DRAWING A PORTION OF THE WORK IS DRAWN OUT THE REMAINDER IS INDICATED IN OUTLINE, THE DRAWN-OUT PARTS SHALL APPLY TO ALL OTHER LIKE PORTIONS OF THE WORK. WHERE ORNAMENT OR OTHER DETAIL IS INDICATED AS STARTING, SUCH DETAIL SHALL BE CONTINUED THROUGHOUT THE COURSES OR PARTS IN WHICH IT OCCURS AND SHALL ALSO APPLY TO OTHER SIMILAR PARTS IN THE WORK, UNLESS OTHERWISE NOTED.	
35. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS, ORDINANCES, AND STATUTES SPECIFIED IN SECTION 11017 OF THE GOVERNMENT CODE. THE CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF DEBRIS CAUSED BY ITS OPERATIONS. THE CONTRACTOR SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. CONSTRUCTION DEBRIS AND WASTE SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND DISPOSE OF AT AN APPROPRIATE SITE. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAN THE BUILDING.	
LEGEND	
 <u>GRID LINES</u>	 <u>KEY NOTE NOTE NUMBER</u>
 <u>BLDG. SECTION</u> DETAIL NUMBER SHEET WHERE SECTION IS SHOWN	 <u>REVISION IDENTIFICATION</u>
 <u>WALL SECTION</u> DETAIL NUMBER SHEET WHERE ELEVATION IS SHOWN	 <u>DATUM POINT</u>
 <u>EXTERIOR ELEVATION(S)</u> DETAIL NUMBER SHEET WHERE ELEVATION IS SHOWN	 <u>CLOSET</u> ROOM NAME ROOM NUMBER
 <u>DETAIL REFERENCE</u> DETAIL NUMBER SHEET WHERE ELEVATION IS SHOWN	 <u>WALL TYPES</u>
 <u>INTERIOR ELEVATION(S) MARK</u> ELEVATION NUMBER ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS SHOWN	 <u>SIGNAGE NUMBER</u>
	 <u>WINDOW NUMBER</u>
	 <u>DOOR/ GATE NUMBER</u>
	 <u>MATCHLINE</u>

GENERAL NOTES

- COORDINATE LAYOUT DIMENSIONS INDICATED ON THE STRUCTURAL, ELECTRICAL, PLUMBING, AND MECHANICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WORK IS SHOWN, DESCRIBED, OR SPECIFIED IN THE DRAWINGS INDEXED ON THE TITLE PAGE (T1) OR IN THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS ON THE PROJECT SITE BEFORE THE WORK BEGINS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING DEMOLITION REQUIREMENTS IN RELATION TO THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES TO THE CONDITIONS SHOWN IN THE CONTRACT DOCUMENTS BEFORE CONSTRUCTIONS BEGINS.
- EXISTING CONDITIONS SHOWN ON THE DRAWINGS WERE OBTAINED FROM OWNER-PROVIDED ARCHIVE DRAWINGS. VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DEVIATIONS BEFORE PROCEEDING WITH THE WORK.
- PLUM ARCHITECTS HAS PREPARED THESE CONSTRUCTION DOCUMENTS ONLY FOR THE IMPROVEMENTS SPECIFIED, DETAILED, INDICATED, OR SHOWN AS NEW WORK AND ASSUMES NO RESPONSIBILITY FOR OTHER CONSTRUCTION, MATERIAL, OR EQUIPMENT NOTED, INDICATED, OR SHOWN AS "EXISTING" OR AS "PROVIDED BY OTHERS." UNLESS OTHERWISE INDICATED OR NOTED, PLUM ARCHITECTS HAS NEITHER CHECKED NOR VERIFIED THE STRUCTURAL INTEGRITY, QUALITY OF CONSTRUCTION, ACCESSIBILITY TO, EGRESS FROM, OR DESIGN OF THE EXISTING CONSTRUCTION AND ANY OTHER WORK NOT INCLUDED AS PART OF THE IMPROVEMENTS SPECIFIED, DETAILED, OR SHOWN ON THESE DOCUMENTS.
- ITEMS INDICATED TO BE VERIFIED OR FIELD VERIFIED ARE REQUIRED TO BE VERIFIED PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH THE WORK. ITEMS ARE ALWAYS TO BE VERIFIED FOR DESIGN INTENT AND COMPATIBILITY WITH APPROPRIATE BUILDING CODES.
- NOT USED
- ADEQUATE ENGINEERING OBSERVATION AND TESTING SHALL BE PROVIDED DURING CONSTRUCTION BY INSPECTOR OF RECORD PER TITLE 24.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE WRITTEN DIMENSIONS. WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS.
- DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED CONSTRUCTION, UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
- ONLY WORK SO NOTED IS NOT IN CONTRACT. WORK DESCRIBED AS NOT IN CONTRACT SHALL NOT BE CONSTRUED AS DSA-APPROVED AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH CURRENT CODE.
-
- ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE CONTRACT DOCUMENTS IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODES OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED THAT IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CONSTRUCTION CHANGE DOCUMENT, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT AND BY DSA BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT. EXISTING UTILITIES AND IMPROVEMENTS DAMAGED DURING THE COURSE OF THE WORK SHALL BE PROMPTLY REPAIRED. EXISTING UTILITIES AND IMPROVEMENTS DAMAGED FOR WHICH LOCATIONS WERE UNKNOWN, SHALL BE IMMEDIATELY BROUGHT TO THE OWNER'S AND ARCHITECT'S ATTENTION AND PROMPTLY REPAIRED AT HIS/HER DIRECTION. THE WORK REQUIRED TO REPAIR DAMAGED EXISTING UTILITIES AND IMPROVEMENTS FOR WHICH LOCATIONS WERE UNKNOWN WILL BE REVIEWED AND TAKEN UNDER CONSIDERATION AS EXTRA WORK.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT, AND SERVICE NECESSARY FOR ALL WORK SHOWN, PRESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS. WHERE WORK OR EQUIPMENT IS INDICATED N.I.C. (NOT IN CONTRACT), SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATIONS. ALL REQUESTS FOR CLARIFICATIONS OF THESE DRAWINGS SHALL BE DIRECTED TO PLUM ARCHITECTS. ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES ON THE PROJECT. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT ALL TRADES COORDINATE INTERFACE BETWEEN THEMSELVES.
- WORK BY OTHERS, OWNER MAINTENANCE PROJECTS, AND OTHER WORK ON THE SITE MAY OCCUR CONCURRENT WITH THE WORK OF THE CONTRACT. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE CONCURRENT WORK ON THE SITE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS THAT ARISE BETWEEN THE CONTRACT WORK AND THE CONCURRENT WORK ON THE SITE.
- USE OF MATERIALS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS IS PROHIBITED.
- THE TERM "TYPICAL" (TYP) SHALL BE CONSTRUED TO MEAN APPLYING TO ALL LIKE OR SIMILAR CONDITIONS IN THE AREAS WITHIN THE BOUNDARIES OF THIS PROJECT.
- THE CONTRACTOR SHALL MAINTAIN THE PUBLIC RIGHT OF WAYS, SIDEWALKS, CORRIDORS, ETC., AFFECTED BY THE CONSTRUCTION, AND KEEP THESE AREAS FREE OF ALL SOIL, DEBRIS, TRASH, ETC. ON A DAILY BASIS. CLEAN EGRESS SHALL BE MAINTAINED AT ALL TIMES FOR ALL ADJACENT BUILDING TENANTS, THEIR EMPLOYEES, AND GUESTS. CONSTRUCTION DEBRIS AND WASTE SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF DEBRIS CAUSED BY ITS OPERATIONS. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAN BUILDING AND LEAVE THE WORK "READY FOR MOPPING AND WAXING."
- NO EXTRA WORK, CHANGES OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS SHALL BE MADE UNLESS WRITTEN AND COUNTERSIGNED BY THE ARCHITECT AND OWNER OR WRITTEN ORDER FROM THE ARCHITECT IS OBTAINED. THIS ORDER SHALL STATE THAT THE OWNER HAS AUTHORIZED THE EXTRA WORK OR CHANGE AND NO CLAIM FOR AN ADDITIONAL SUM SHALL BE VALID UNLESS SO PRESENTED AS DESCRIBED ABOVE. THE WRITTEN ORDER IS SUBJECT TO APPROVAL BY THE GOVERNING REGULATORY AGENCIES.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUPPLY AND DISTRIBUTE ADEQUATE COPIES OF ALL DRAWINGS TO ALL TRADES FALLING UNDER THEIR RESPONSIBILITY AT ALL TIMES DURING THE PROGRESS OF THE JOB (I.E. REVISIONS.)
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND APPROVALS OF SUBSTITUTED MATERIALS AS REQUIRED BY THE GOVERNING CODES AND AGENCIES.
- THE CONTRACTOR SHALL SUBMIT ALL PERTINENT SHOP DRAWINGS AND COLOR SAMPLES FOR THE ARCHITECT'S REVIEW. ALLOWING ADEQUATE TIME FOR REVIEW AND CORRECTIVE ACTION, SHOULD IT BE REQUIRED. BY SUBMITTING SHOP DRAWINGS, THE CONTRACTOR THEREBY REPRESENTS THAT HE HAS VERIFIED ALL FIELD MEASUREMENTS, METHODS OF ACCESS TO THE POINT OF INSTALLATION AND SIMILAR FIELD CRITERIA FOR ALL PREFABRICATED ASSEMBLIES OTHER THAN BUILDING STANDARDS WORK. THE ARCHITECT'S APPROVAL OF THE SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE CONTRACT DOCUMENTS UNLESS HE HAS IN WRITING CALLED THE ARCHITECT'S ATTENTION TO SUCH DEVIATIONS AS THE TIME OF THE SUBMISSION. NOR SHALL IT RELIEVE HIM OF THE RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK MATERIALS IN CONFORMANCE WITH CONTRACT DOCUMENTS AND ANY CODES OF FEDERAL, STATE, COUNTY, OR MUNICIPALITY HAVING JURISDICTION OVER SUCH WORK. ALL APPLICABLE REQUIREMENTS IN THESE REGULATIONS SHALL BE FOLLOWED THE SAME AS IF NOTED ON THE DRAWINGS. CONFLICTS BETWEEN WORK SET FORTH ON THE DRAWINGS AND BUILDING CODES, LAWS, OR REGULATIONS NOTED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY COMPLETION, AND OPERATIONS AND MAINTENANCE INSTRUCTIONS OF ALL EQUIPMENT TO THE OWNER AND TENANT.
- NOT USED
- STRUCTURAL DRAWINGS GOVERN FOR SPACING AND SIZING FOR ALL STRUCTURAL MEMBERS, REINFORCING AND INSTALLING DETAILS.
- NOT USED
- CONTRACTOR TO REPAIR AND PATCH ALL AREAS DISTURBED DUE TO THIS PROJECT'S SCOPE OF WORK.
- ACCESSIBLE ROUTE OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF REVEALED AT 1:2 MAX SLOPE, OR VERTICAL CURVE CHANGES NOT EXCEEDING 1/4" MAX AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE ROUTE OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE ROUTE OF TRAVEL.

PLUM architects

870 Market St, Ste 878, San Francisco, CA 94102
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	Revisions
INITIAL SCHEMES	06/02/26
SCHEMATIC DESIGN	06/23/26
100% CD	07/25/26

Project 2604

Pittsburg High
School Creative Arts
Building Entry Plaza
Modernization

1750 Harbor Street
Pittsburg, CA 94565
Pittsburg Unified School District

Sheet

GENERAL NOTES &
ABBREVIATIONS

T2

Date
July 20, 2026

LEGEND

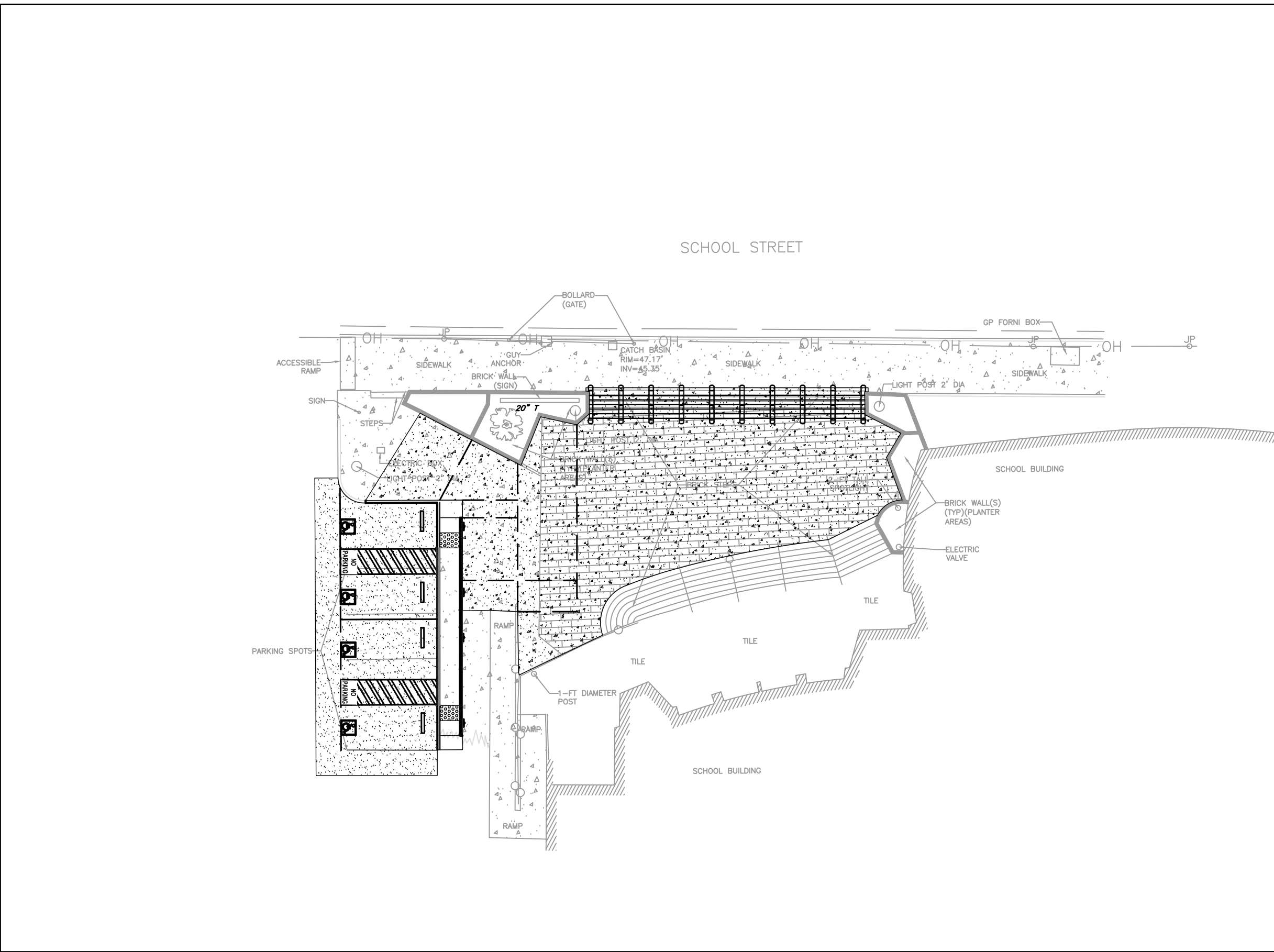
EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		PROPERTY LINE
		FENCE
		RETAINING WALL
		LANDSCAPE RETAINING WALL
		SUBDRAIN LINE
		TIGHTLINE
		ELECTRICAL
		STORM DRAIN LINE
		SANITARY SEWER LINE
		WATER LINE
		GAS LINE
		PRESSURE LINE
		JOINT TRENCH
		SET BACK LINE
		CONCRETE VALLEY GUTTER
		SWALE FLOW DIRECTION
		CATCH BASIN
		JUNCTION BOX
		AREA DRAIN
		SQUARE AREA DRAIN
		CURB INLET
		STORM DRAIN MANHOLE
		FIRE HYDRANT
		SANITARY SEWER MANHOLE
		STREET SIGN
		SPOT ELEVATION
		FLOW DIRECTION
		DEMOLISH/REMOVE
		BENCHMARK
		CONTOURS
		TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	MAX	MAXIMUM
AC	ASPHALT CONCRETE	MH	MANHOLE
ACC	ACCESSIBLE	MIN	MINIMUM
AD	AREA DRAIN	MON.	MONUMENT
BC	BEGINNING OF CURVE	(N)	NEW
B & D	BEARING & DISTANCE	NO.	NUMBER
BM	BENCHMARK	NIC	NOT IN CONTRACT
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
C	CENTER LINE	P.A.	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE	PE	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
CONC	CONCRETE	PSS	PUBLIC SERVICES EASEMENT
CONST	CONSTRUCT or -TION	R	PROPERTY LINE
CONC COR	CONCRETE CORNER	PP	POWER POLE
CY	CUBIC YARD	PUC	PUBLIC UTILITY EASEMENT
D	DIAMETER	PVC	POLYVINYL CHLORIDE
DI	DROP INLET	R	RADIUS
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
EA	EACH	RM	RIM ELEVATION
EC	END OF CURVE	RW	RAINWATER
EG	EXISTING GRADE	R/W	RIGHT OF WAY
EL	ELEVATIONS	S	SLOPE
EP	EDGE OF PAVEMENT	S.D.	SEE ARCHITECTURAL DRAWINGS
EQ	EQUIPMENT	SAN	SANITARY
EW	EACH WAY	SD	STORM DRAIN
(E)	EXISTING	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SHT	SHEET
FF	FINISHED FLOOR	S.L.D.	SEE LANDSCAPE DRAWINGS
FG	FINISHED GRADE	SPEC	SPECIFICATION
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST.	STREET
G	GAS	STA	STATION
GA	GAGE OR GAUGE	STD	STANDARD
GB	GRADE BREAK	STRUCT	STRUCTURAL
HDPE	HIGH DENSITY CORRUGATED	T	TELEPHONE
POLYETHYLENE	POLYETHYLENE	TC	TOP OF CURB
HORIZ	HORIZONTAL	TEMP	TEMPORARY
HI PT	HIGH POINT	TP	TOP OF PAVEMENT
H&T	HUB & TACK	TW/FG	TOP OF WALL/FINISH GRADE
ID	INSIDE DIAMETER	TYP	TYPICAL
INV	INVERT ELEVATION	VC	VERTICAL CURVE
JB	JUNCTION BOX	VCP	VITRIFIED CLAY PIPE
JT	JOINT TRENCH	VERT	VERTICAL
JP	JOINT UTILITY POLE	U.O.N.	UNLESS OTHERWISE NOTED
L	LENGTH	W/	WITH
LNDG	LANDING	W, WL	WATER LINE
LF	LINEAL FEET	WM	WATER METER
		WWF	WELDED WIRE FABRIC

PITTSBURG HIGH SCHOOL CREATIVE ARTS BUILDING ENTRY PLAZA MODERNIZATION

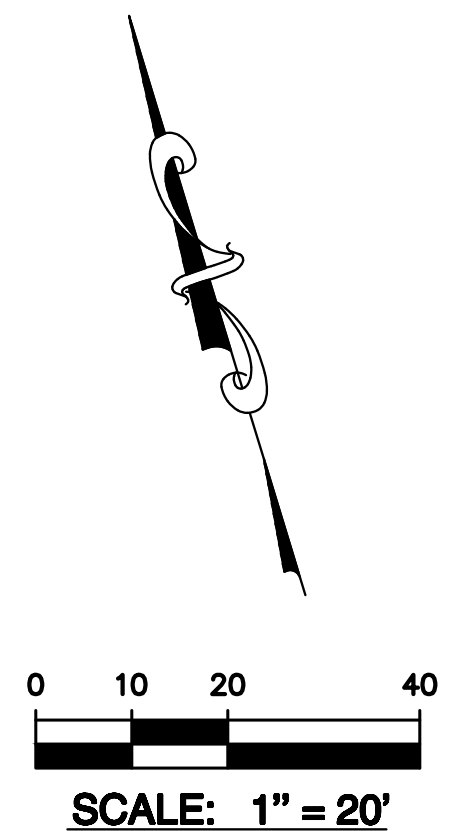
1750 HARBOR STREET PITTSBURG, CA 94565



KEY MAP
1" = 20'

NOTES:

- ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY. TYPICALLY THROUGHOUT IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY IN WRITING REQUESTING CLARIFICATION.
- THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF WILLIAM CLARK, P.E. INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY ANY PERSONS ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ENGINEER.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALTRANS STANDARDS AND SPECIFICATIONS, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED. PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ENGINEER FOR CORRECTION OR ADJUSTMENT. THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.
- ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HIS/HER WORK. ANY ERRORS, OMISSION, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.
- IF THE CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCONFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE CONTRACTOR TO THE ARCHITECT AND/OR ENGINEER.
- THE ENGINEER SHALL NOT HAVE CONTROL OF OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ALL IMPORT AND EXPORT QUANTITIES AND/OR DISPOSAL/IMPORT COSTS



SHEET INDEX

C0.01	TITLE SHEET
C0.02	SPECIFICATIONS
C2.01	GRADING & DRAINAGE PLAN
C3.01	DETAILS



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DESIGN BY: WCC
DRAWN BY: WC
CCE JOB NO: 226031
SIGNATURE DATE 7/20/26

	Revisions
INITIAL SCHEMES	06/02/26
SCHEMATIC DESIGN	06/23/26
100% CD	07/20/26

Project 2603
Pittsburg High School Creative Arts Building Entry Plaza Modernization

1750 Harbor Street
Pittsburg, CA 94565
Pittsburg Unified School District

Sheet
TITLE SHEET

C0.01

Date
July 20, 2026

GENERAL SITE NOTES:

1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
3. PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO OWNER'S PROJECT MANAGER AND CIVIL ENGINEER.
4. DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
5. CONTRACTOR SHALL REPLACE ALL STRUCTURES AND GRADE LIDS FOR VAULTS, CATCH BASINS, ETC., WITH VEHICULAR-RATED STRUCTURES IN ALL TRAFFIC ACCESSIBLE AREAS WITHIN NEW CONSTRUCTION AREA UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL EXISTING AND/OR NEW MANHOLES, CURB INLETS, CATCH BASIN, VALVES, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE CONSTRUCTION AREA TO FINAL GRADE IN PAVEMENT AND LANDSCAPE AREAS UNLESS OTHERWISE NOTED.
7. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE OWNER, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CONSULTING ENGINEER.
8. EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND ACCESSIBLE PATHWAYS SHALL BE MAINTAINED, WHERE FEASIBLE, DURING CONSTRUCTION.
9. IF A CONFLICT ARISES BETWEEN THE SPECIFICATIONS AND THE PLANS NOTES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
10. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS BY GEO-ENGINEERING SOLUTIONS, INC. .
11. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS AND COSTS ASSOCIATED WITH SAID PERMITS

TREE/PLANT PROTECTION NOTES:

1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY, CONFIRM WITH OWNER AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
2. PROVIDE 5 FOOT TALL TREE PROTECTION FENCE WITH DISTINCTIVE MARKING VISIBLE TO CONSTRUCTION EQUIPMENT, ENCLOSING DRIP LINES OF TREES DESIGNATED TO REMAIN.
3. WORK REQUIRED WITHIN FENCE LINE SHALL BE HELD TO A MINIMUM, AVOID UNNECESSARY MOVEMENT OF HEAVY EQUIPMENT WITHIN FENCED AREA AND DO NOT PARK ANY VEHICLES UNDER DRIP LINE OR TREES. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN FENCE LINE.
4. PRIOR TO REMOVING ROOTS AND BRANCHES LARGER THAN 2" IN DIAMETER OF TREES OR PLANTS THAT ARE TO REMAIN, CONSULT WITH THE OWNER'S PROJECT MANAGER.
5. ANY GRADE CHANGES GREATER THAN 6" WITHIN THE DRIPLINE OF EXISTING TREES SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE ARCHITECT / CIVIL ENGINEER.
6. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIALS; AS WELL AS FROM PUDDLING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
7. PROVIDE TEMPORARY IRRIGATION TO ALL TREES AND PLANTS THAT ARE IN OR ADJACENT TO CONSTRUCTION AREAS WHERE EXISTING IRRIGATION SYSTEMS MAY BE AFFECTED BY THE CONSTRUCTION. ALSO PROVIDE TEMPORARY IRRIGATION TO RELOCATE TREES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES AND PLANTS DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES OR PLANTS THAT DIE DUE TO LACK OF MAINTENANCE.
9. TREE PROTECTION ZONES NEED TO BE SET UP WITH FENCING AROUND TREES TO A MINIMUM DISTANCE OF 10 FEET FROM THE BUTTRESS FLAIR. NO EQUIPMENT, MATERIALS STORAGE, OR DIGGING IS ALLOWED WITHIN THE TREE PROTECTION ZONE WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT ARBOHIST, ARBOHIST SUPERVISOR OR AUTHORIZED DESIGNATE. ANY AUTHORIZED DIGGING WITHIN THE TREE PROTECTION ZONE MUST BE DONE BY HAND; I.E. PICK AND SHOVEL. CARE MUST BE TAKEN TO AVOID SEVERING ANY STRUCTURAL ROOTS. ANY ROOTS GREATER THAN 2" IN DIAMETER INCIDENTALLY SEVERED, WHETHER INSIDE OR OUTSIDE OF THE TREE PROTECTION ZONE, WILL NEED TO BE BROUGHT TO THE ATTENTION OF AND INSPECTED BY THE PROJECT ARBOHIST, ARBOHIST SUPERVISOR OR AUTHORIZED DESIGNATE; WHO WILL EVALUATE THE TREE IN QUESTION FOR IMPACTS TO BOTH LONG TERM HEALTH AND STABILITY. ANY ROOT SEVERANCE CONCLUDED TO COMPROMISE TREE STABILITY/SAFETY MAY RESULT IN TREE REMOVAL. ANY COSTS RESULTING FROM TREE REMOVALS WILL BE CHARGED TO THE PROJECT IN QUESTION. ANY COSTS FROM TREE REMOVALS RESULTING FROM VIOLATIONS OF THE COUNTY CODES WILL BE ABSORBED BY THE CONTRACTOR UP TO AND INCLUDING ANY FINES LEVIED BY THE COUNTY.

SITE MAINTENANCE:

1. REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES ONTO THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELED AREAS DURING WET WEATHER.
2. SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPE CAKED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEPED MANUALLY.
3. CONTRACTOR SHALL: GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE IT IN A DUMPSTER OR OTHER CONTAINER WHICH IS EMPTIED OR REMOVED ON A REGULAR BASIS. WHEN APPROPRIATE, USE TARPS ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER RUNOFF POLLUTION.
4. IF THE STREET, SIDEWALKS AND/OR PARKING LOT ARE PRESSURE WASHED, DEBRIS MUST BE TRAPPED AND COLLECTED TO PREVENT ENTRY INTO THE STORM DRAIN SYSTEM. NO CLEANING AGENT MAY BE DISCHARGED INTO THE STORM DRAIN. IF ANY CLEANING AGENT OR DEGREASER IS USED, WASHED WATER MUST BE COLLECTED AND DISCHARGED TO THE SANITARY SEWER, SUBJECT TO THE APPROVAL OF THE OWNER'S PROJECT MANAGER, OR OTHERWISE DISPOSED OF THROUGH APPROVED DISPOSAL METHODS.
5. CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIAL USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
6. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
7. ENSURE THAT CEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.
8. THE ON-SITE STORM DRAIN FACILITIES SHALL BE CLEANED A MINIMUM OF TWICE A YEAR AS FOLLOWS: IMMEDIATELY PRIOR TO OCTOBER 15TH AND ONCE IN JANUARY. ADDITIONAL CLEANING MAY BE REQUIRED IF FOUND NECESSARY BY THE INSPECTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR COST ASSOCIATED WITH CLEANING.
9. PREVENT DUST FROM LEAVING THE SITE AND ACCUMULATING ON ADJACENT AREAS AS REQUIRED IN THE DUST CONTROL NOTES ON THIS SHEET.
10. PREVENT SEDIMENT LADEN STORM RUN-OFF FROM LEAVING THE SITE OR ENTERING STORM DRAIN OR SANITARY SEWER SYSTEMS AS REQUIRED IN THE EROSION AND SEDIMENTATION CONTROL NOTES ON THIS SHEET.
11. MAINTAIN EXISTING TREES AND PLANTS THAT ARE TO REMAIN AS REQUIRED BY THE TREE AND PLANT PROTECTION NOTES ON THE SHEET.

STORM DRAIN NOTES:

1. ALL STORM DRAIN PIPE SHALL BE PVC PER SECTION 02630, SLOPED AT 2% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A Y CONNECTION OR LONG SWEEP ELBOWS, REGULAR ELBOWS, AND TEE'S SHOULD BE AVOIDED.
2. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATE 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION- STORM DRAIN LINE BELOW", CALPICO TYPE 2 OR EQUAL.
3. PAINT THE TOP OF THE CURBS ADJACENT TO EACH CATCH BASIN INSTALLED UNDER THE WORK OR ADJACENT TO THIS SITE WITH THE WORDS "NO DUMPING". WORDING TO BE BLUE 4" HIGH LETTERS ON A PAINTED WHITE BACKGROUND. A " NO DUMPING"
4. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS AND HAVE BOLT DOWN GRATES.
5. ALL TRENCHES SHALL BE BACKFILLED PER THE SPECIFICATIONS WITH APPROPRIATE TEST BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
6. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO TRENCH OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
7. COMPLETE SYSTEMS; ALL UTILITY SYSTEMS ARE DELINEATED IN SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES, AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.

FIRE NOTES:

GEOTECHNICAL REPORT BY:
NINYO & MOORE GEOTECHNICAL & ENVIRONMENTAL SCIENCES CONSULTANTS .
DATED: SEPTEMBER 21, 2018 & UPDATED JANUARY 18, 2019 PROJECT NO. 403332001.

SOILS REPORT INDICATES THAT THE SOIL IS MODERATELY CORROSIVE, AND ALL BURIED IRON , STEEL AND CAST IRON, GALVANIZED STEEL AND DIELECTRIC COATED STEEL OR IRON SHOULD BE PROPERLY PROTECTED AGAINST CORROSION.

ALLOWABLE SOIL BEARING PRESSURE IS 3,500 PSF.

DEMOLITION NOTES:

1. CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
2. THE CONTRACTOR SHALL LOCATE AND CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) FOR THE DURATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION.
3. CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED CONTRACTOR SHALL PAY DISPOSAL FEES.
6. CONTRACTOR SHALL PAY DISPOSAL FEES.
7. BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION OF FOUNDATIONS & UTILITIES TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
8. WITHIN LIMITS OF WORK, REMOVE CURBS, GUTTERS, LANDSCAPING, SIGNAGE, TREES, SCRUBS, ASPHALT, UNDERGROUND PIPES, ETC. AS INDICATED ON THE PLANS AND SPECS.
9. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
10. PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION & SEDIMENTATION CONTROL PLAN & DETAILS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING ALL DEMOLITION MATERIALS, OR STORING SELECTED ITEMS BY OWNER'S REPRESENTATIVE AT DESIGNATED LOCATIONS.
12. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
13. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OF ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
14. COORDINATE WITH ELECTRICAL, MECHANICAL, FIRE PROTECTION AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN / DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE OWNER. DO NOT INTERRUPT SERVICES ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL SCOPE OF WORK.
15. DEMOLITION INCLUDES REMOVAL OF ALL PAVING OF EXISTING TENNIS COURT AND SELECT ITEMS, REFER TO DEMOLITION PLAN, AND PREPARE FOR NEW PAVING AND ASSOCIATED SITE FEATURES.
16. ALL MATERIALS TO BE DEMOLISHED AND REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF-SITE.
17. THE PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OR WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

WATER SYSTEM NOTES:

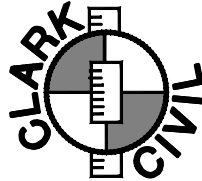
1. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE THE TOP OF THE SANITARY SEWER LINES.
2. WATER LINES ARE SHOWN SCHEMATICALLY; CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/ OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
3. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-WATER LINE BELOW", CALPICO TYPE 2 OR EQUAL.
4. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OR APPLICABLE WATER DISTRICT STANDARDS.
5. PUBLIC AND PRIVATE WATER MAIN AND WATER SERVICE LINE 4-INCH THROUGH 12-INCH SHALL BE POLYVINYL CHLORIDE (PVC) AND SHALL MEET AWWA C900, RATED FOR 200 PSI CLASS PIPE WITH EPOXY COATED DUCTILE IRON FITTINGS AND FUSION EPOXY COATED GATE VALVES. ALL JOINTS SHALL FACTORY MANUFACTURED WITH BELL AND SPIGOT ENDS AND RUBBER GASKETS. NONMETALLIC WATER LINES HAVE TRACER WIRE INSTALLED.
6. CONNECTION TO THE EXISTING WATER MAIN SHALL BE APPROVED BY WATER COMPANY. THE DISTRICT SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE VALVE AND ALL THRUST BLOCKS. BACKFILL, RESTORE THE SURFACE, AND CLEANUP. ALL WET TAPS SHALL BE APPROVED BY THE CITY OR APPLICABLE WATER DISTRICT. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
7. ALL WATER LINES 3" OR SMALLER SHALL BE TYPE K COPPER WITH SILVER BRAZED JOINTS. POLYETHYLENE PIPE MAY BE SUBSTITUTED. CONTRACTOR SHOULD SEEK APPROVAL FROM DISTRICT BEFORE MAKING SUBSTITUTION. CONTRACTOR TO VERIFY PRESSURES FROM EXISTING LINES ARE ADEQUATE TO SERVICE BUILDINGS AS SPECIFIED BY THE PLUMBING PLANS.
8. ALL WATER LINES SHALL BE INSTALLED WITH 3' MINIMUM COVER.
9. ALL WATER VALVES SHALL BE PER CITY STANDARD.
10. ALL TEMPORARY AND/OR PERMANENT AIR-RELEASE AND BLOW-OFF VALVES SHALL BE PER CITY STANDARD AND AS DIRECTED BY THE CITY ENGINEER.
11. CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSINGS, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY STANDARD. AWWA C502 UNLESS NOTED OTHERWISE.
12. MECHANICALLY RESTRAINED JOINTS SHALL BE INSTALLED AT VERTICAL BENDS IN ACCORDANCE WITH CITY STANDARDS AND AS APPROVED BY THE CITY ENGINEER.
13. ALL WATER VALVES SHALL BE CLUSTERED, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

SANITARY SEWER NOTES:

1. INSTALL DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6"-12" BELOW THE SURFACE IN NON-PAVED AREAS, AND AT THE BOTTOM OF BASEROCK FOR PAVED AREAS. GREEN IMPRINTED WITH "CAUTION- SANITARY SEWER LINE BELOW", CALPICO TYPE 2 OR EQUAL.
2. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY OR APPROPRIATE SANITARY SEWER DISTRICT.
3. PUBLIC AND PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-08 WITH GLUED JOINTS.

SITE FENCING NOTES:

1. CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
2. FENCE LOCATION MAY BE ADJUSTED FROM TIME TO TIME AS CONSTRUCTION PROCEEDS TO EXCLUDE SOME AREAS WHERE CONSTRUCTION WORK IS NOT BEING DONE AND THE AREA IS NOT OBJECTIONABLE IN VISUAL APPEARANCE, AT THE DISCRETION AND APPROVAL OF THE DISTRICT STAFF.
3. CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK FENCE WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
4. CONTRACTOR SHALL REPLACE THE GREEN FABRIC AT LEAST ONCE A YEAR OR AT SUCH A TIME AS IT BECOMES TATTERED AND UNSIGHTLY DUE TO WIND OR CONSTRUCTION ACTIVITIES.

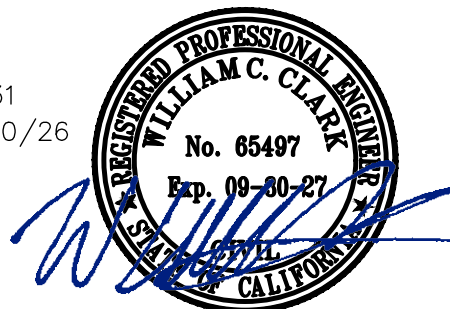


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DESIGN BY: WCC
DRAWN BY: WC
CCE JOB NO: 226031
SIGNATURE DATE 7/20/26



	Revisions
INITIAL SCHEMES	06/02/26
SCHEMATIC DESIGN	06/23/26
100% CD	07/20/26

Project 2603
Pittsburg High
School Creative Arts
Building Entry Plaza
Modernization

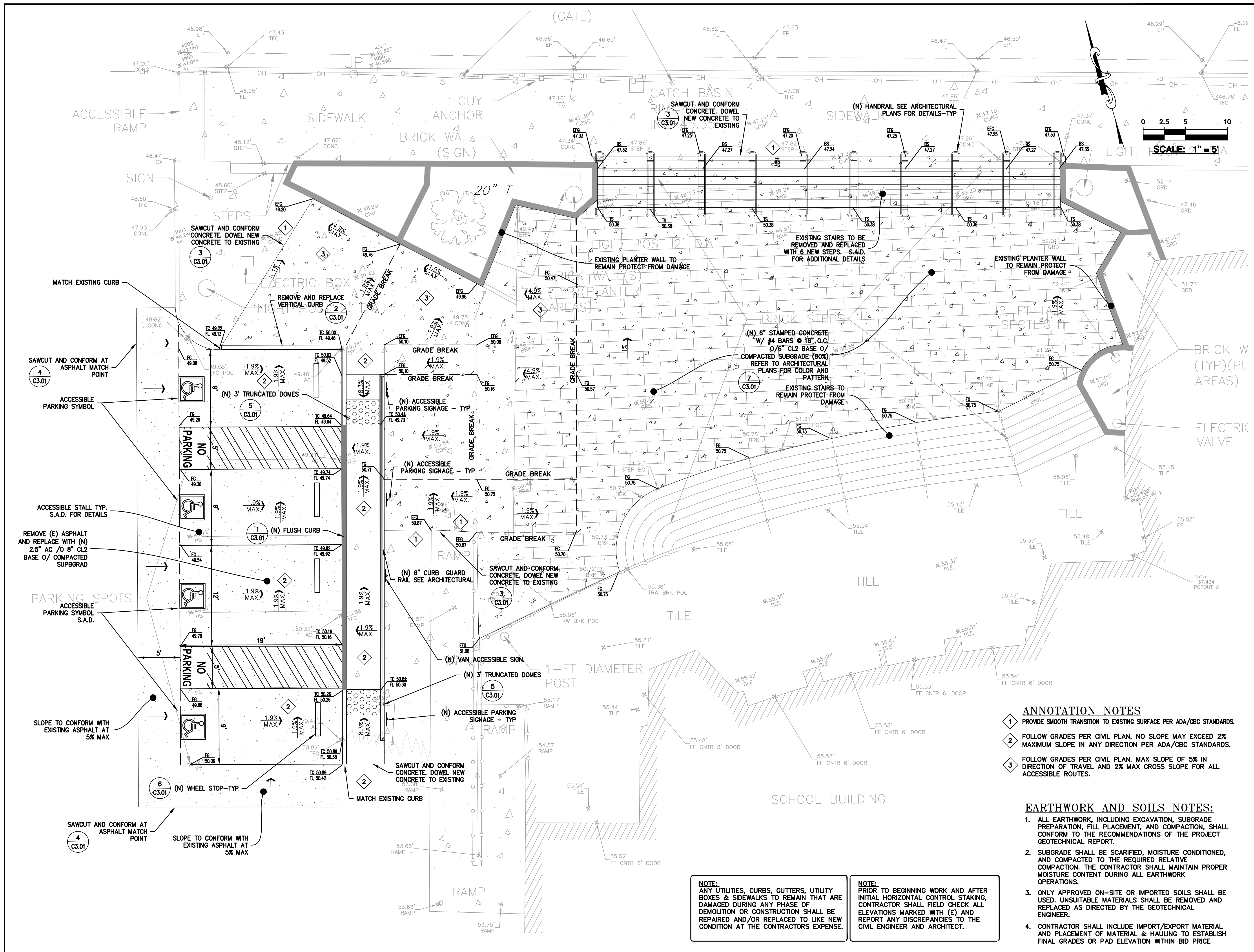
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SPECIFICATIONS

C0.02

Date
July 20, 2026

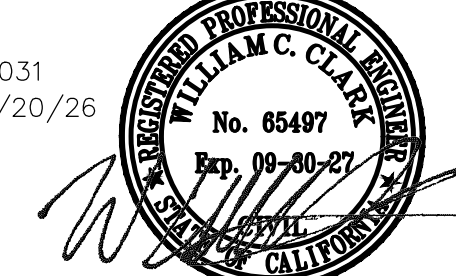


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**Pittsburg High
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Building Entry Plaza
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Sheet
**GRADING & DRAINAGE
PLAN**

C2.01

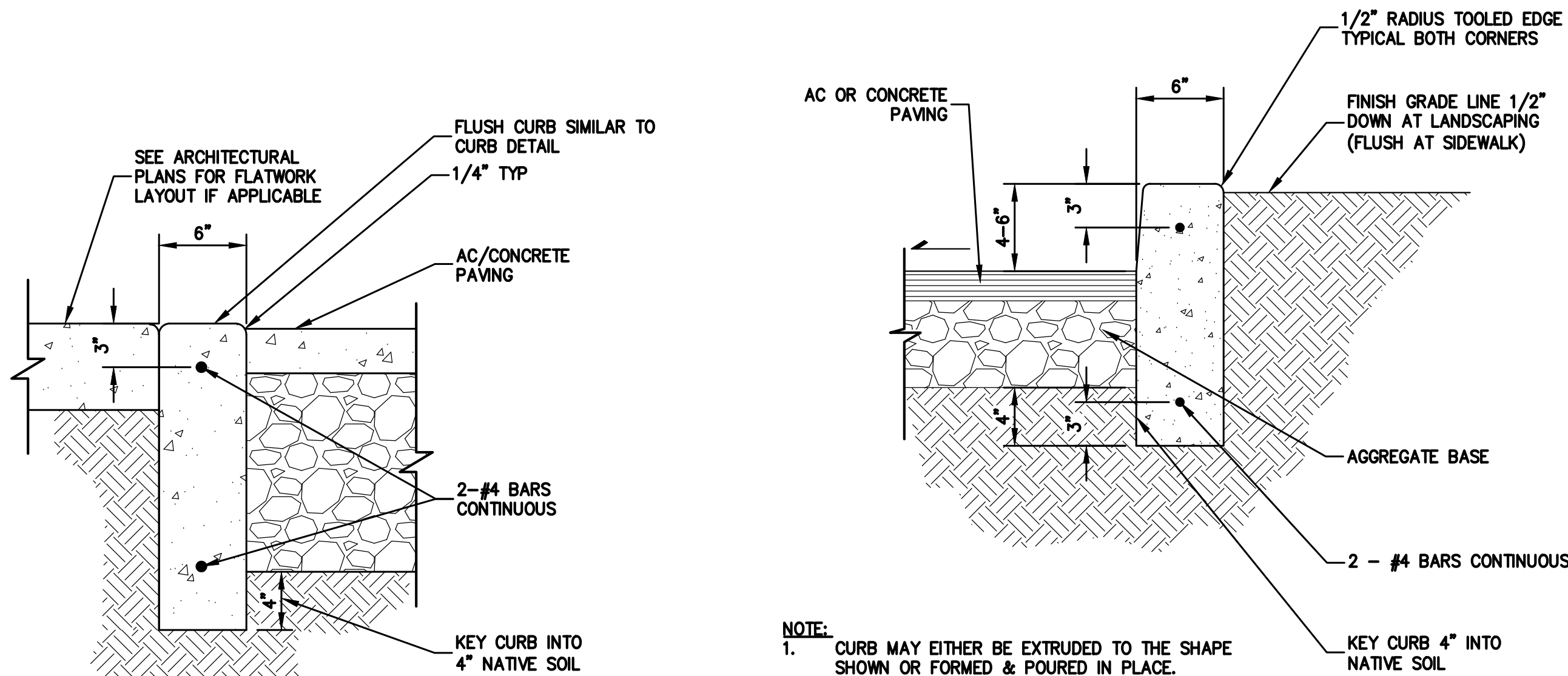
Date
July 20, 2026

- ANNOTATION NOTES**
- 1 PROVIDE SMOOTH TRANSITION TO EXISTING SURFACE PER ADA/CBC STANDARDS.
 - 2 FOLLOW GRADES PER CIVIL PLAN. NO SLOPE MAY EXCEED 2% MAXIMUM SLOPE IN ANY DIRECTION PER ADA/CBC STANDARDS.
 - 3 FOLLOW GRADES PER CIVIL PLAN. MAX SLOPE OF 5% IN DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE FOR ALL ACCESSIBLE ROUTES.

- EARTHWORK AND SOILS NOTES:**
1. ALL EARTHWORK, INCLUDING EXCAVATION, SUBGRADE PREPARATION, FILL PLACEMENT, AND COMPACTION, SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.
 2. SUBGRADE SHALL BE SCARIFIED, MOISTURE CONDITIONED, AND COMPACTED TO THE REQUIRED RELATIVE COMPACTION. THE CONTRACTOR SHALL MAINTAIN PROPER MOISTURE CONTENT DURING ALL EARTHWORK OPERATIONS.
 3. ONLY APPROVED ON-SITE OR IMPORTED SOILS SHALL BE USED. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
 4. CONTRACTOR SHALL INCLUDE IMPORT/EXPORT MATERIAL AND PLACEMENT OF MATERIAL & HAULING TO ESTABLISH FINAL GRADES OR PAD ELEVATION WITHIN BID PRICE

NOTE:
ANY UTILITIES, CURBS, GUTTERS, UTILITY BOXES & SIDEWALKS TO REMAIN THAT ARE DAMAGED DURING ANY PHASE OF DEMOLITION OR CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED TO LIKE NEW CONDITION AT THE CONTRACTORS EXPENSE.

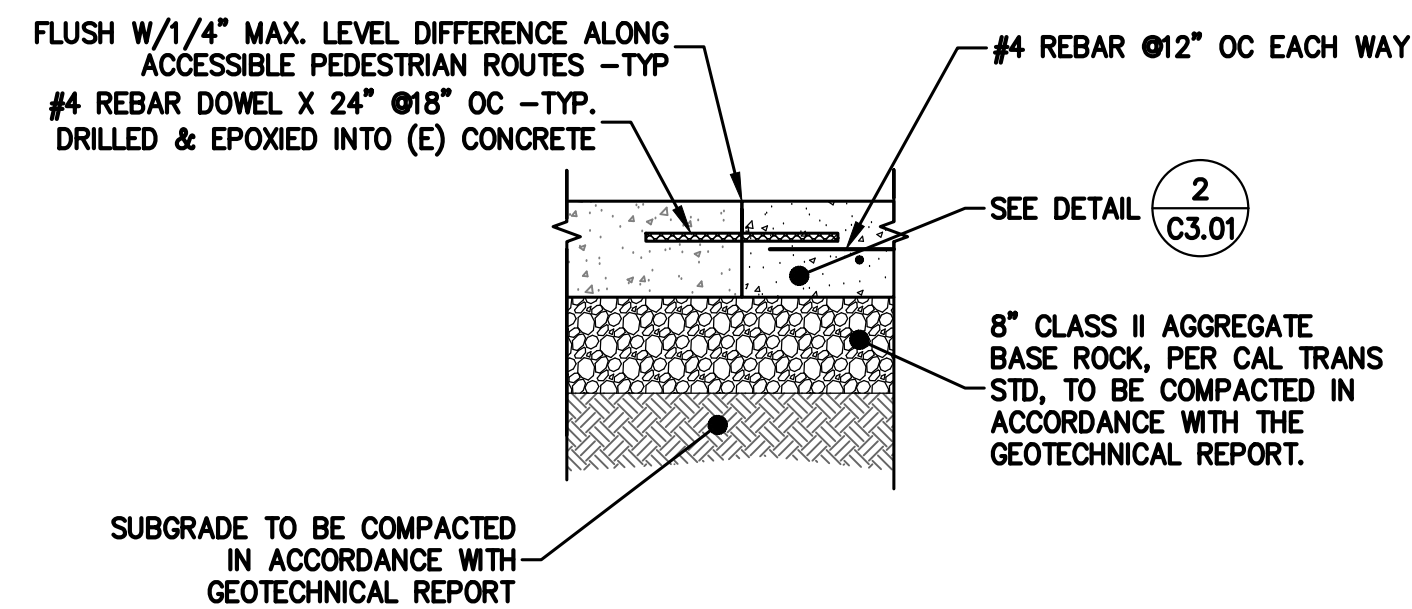
NOTE:
PRIOR TO BEGINNING WORK AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES TO THE CIVIL ENGINEER AND ARCHITECT.



- NOTE:**
- CURB MAY EITHER BE EXTRUDED TO THE SHAPE SHOWN OR FORMED & POURED IN PLACE.
 - PROVIDE EXPANSION JOINTS @ 15'-0" O.C.

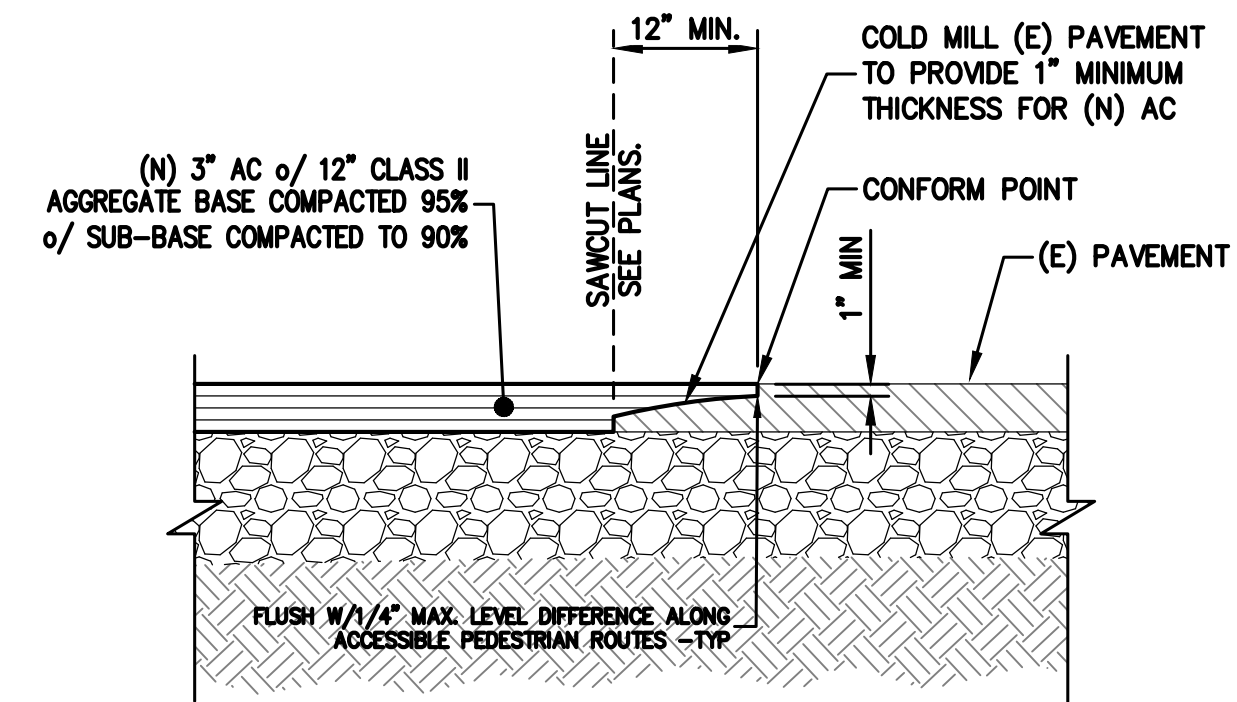
1 FLUSH CURB
C3.01 NTS

2 TYPICAL CURB
C3.01 NTS



3 CONNECTION (N) TO (E) CONCRETE PAVING
C3.01 NTS

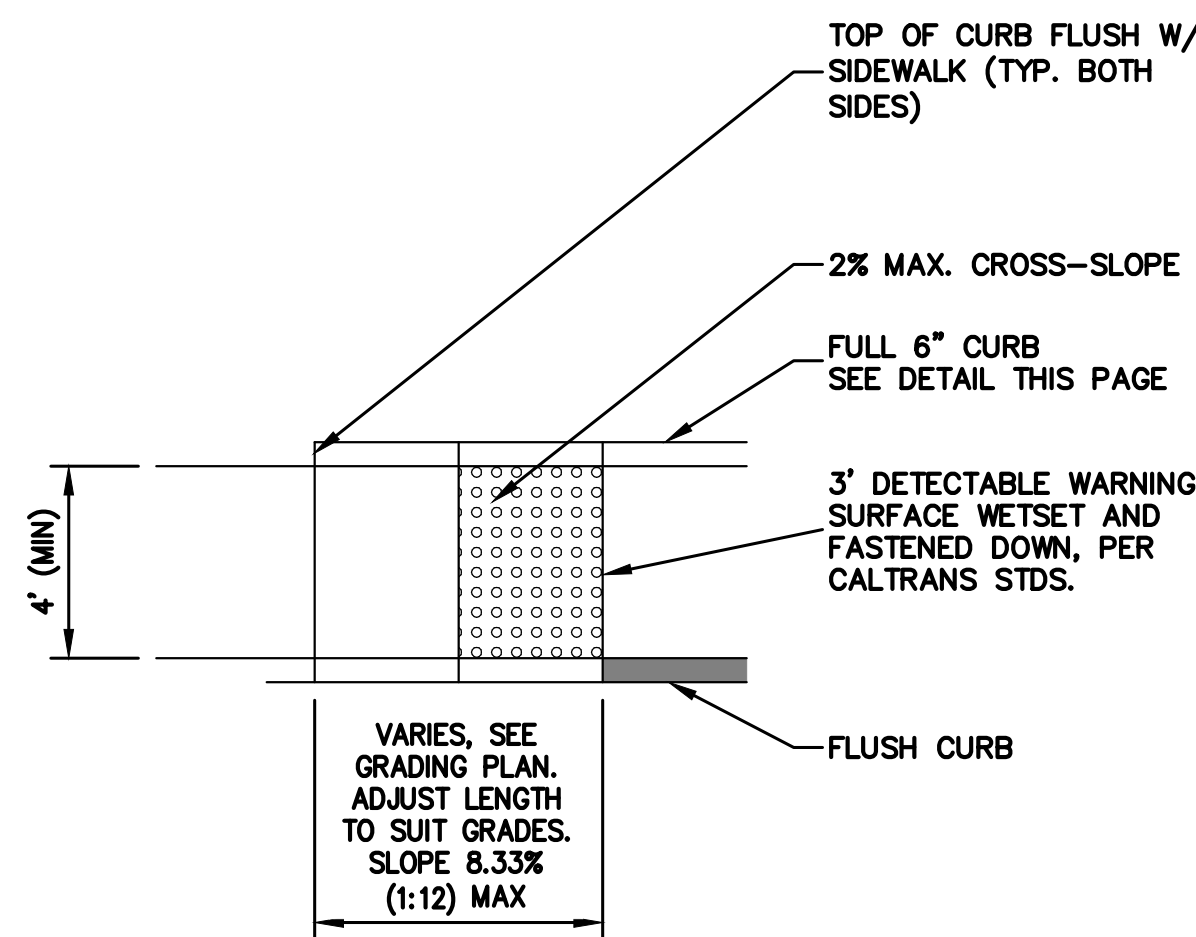
NOTE:
REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION ON CONCRETE PAVING.



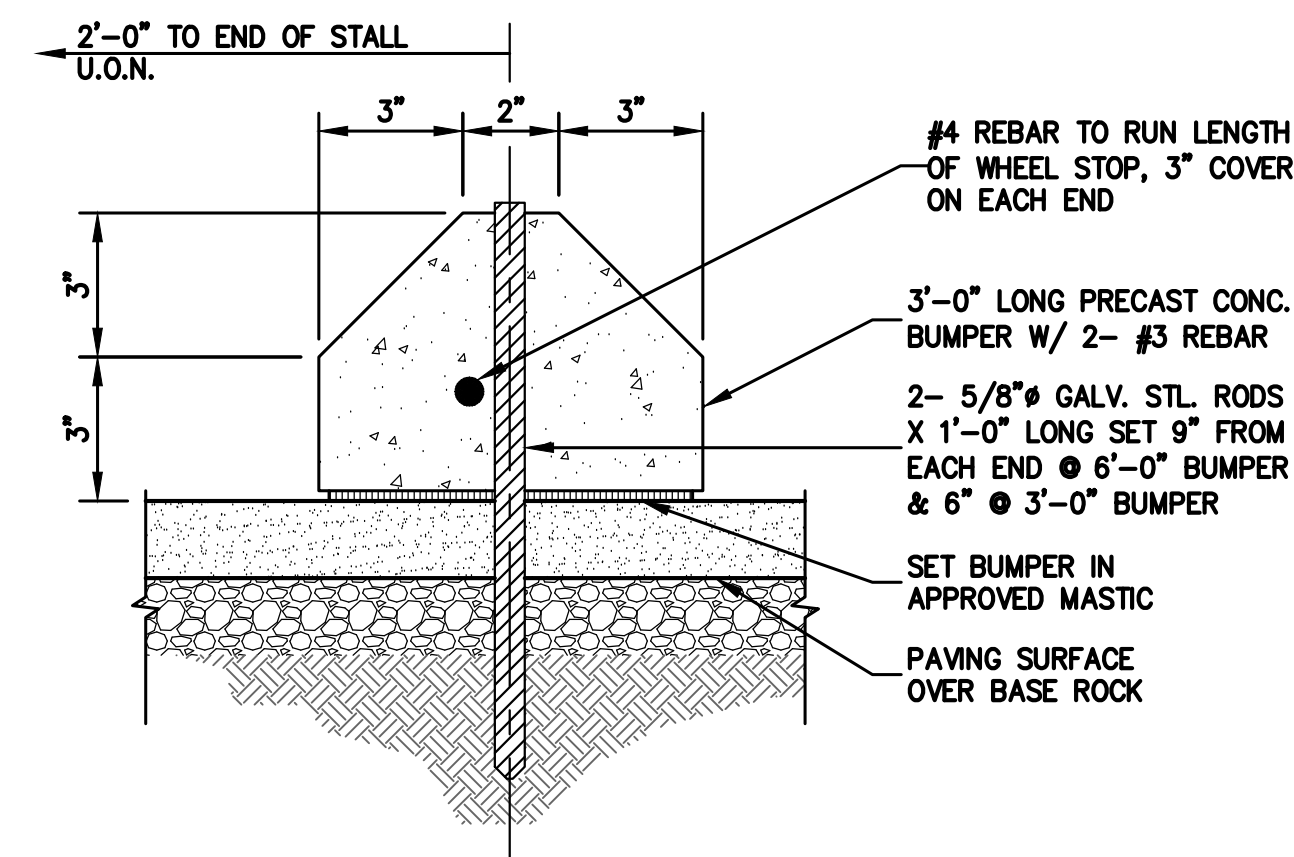
- NOTES:**
- TIE-IN PAVEMENT SECTION AS SHOWN ON PLANS.
 - TIE-IN OF ASPHALT CONCRETE SHALL EXTEND TO AT LEAST THE BOTTOM OF EXISTING ASPHALT CONCRETE.

4 PAVEMENT TIE-IN
C3.01 NTS

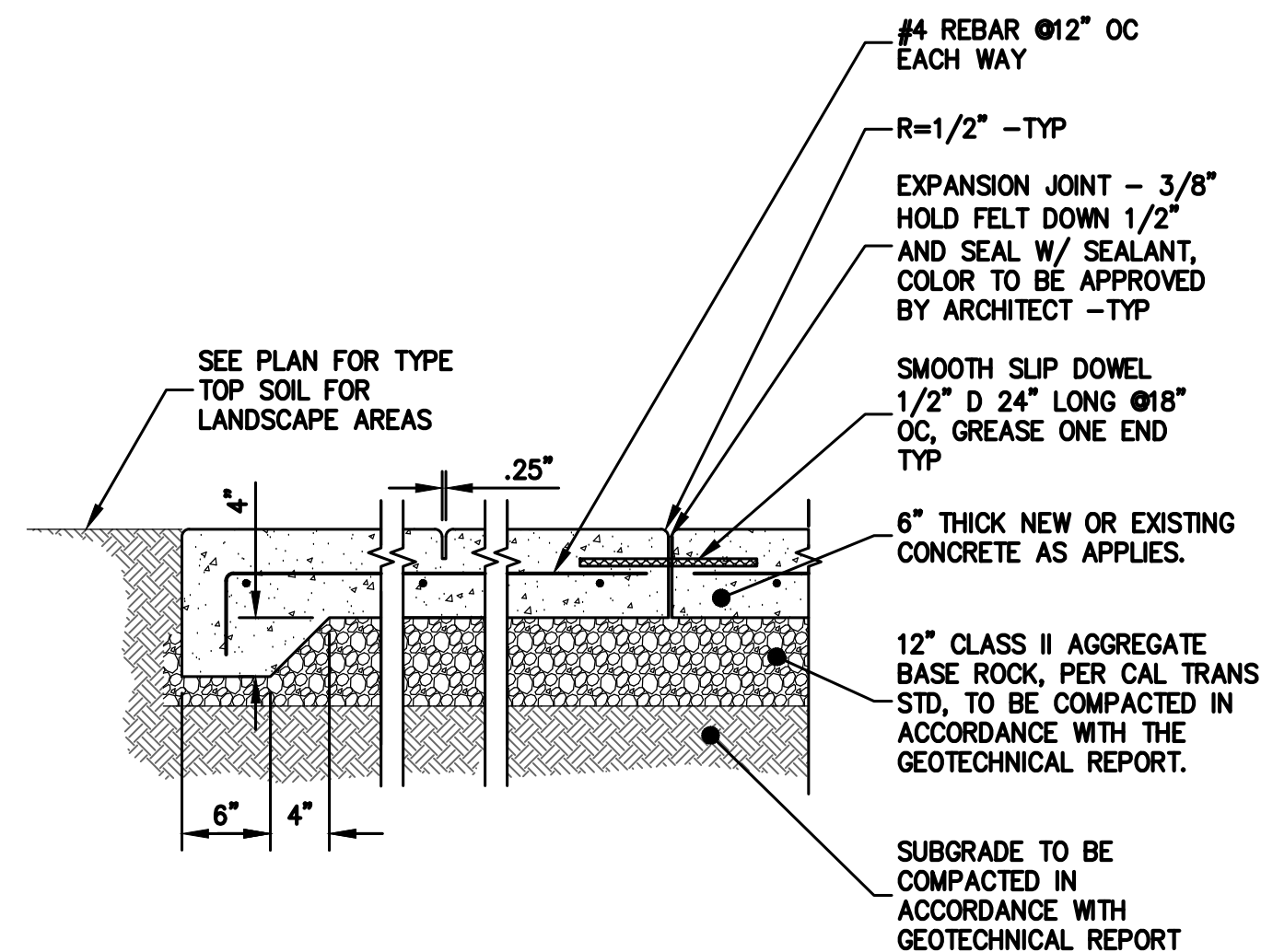
- NOTES:**
- SLOPE ALL CONCRETE TO DRAIN 1% MIN.
 - SEE ARCHITECTURAL PLANS FOR CONCRETE COLORS AND FINISHES.
 - EASE ALL EDGES R=1/2"
 - FELT SHALL BE NON-ASPHALTIC IMPREGNATED.



5 ACCESSIBLE RAMP
C3.01 NTS



6 WHEEL STOP
C3.01 NTS



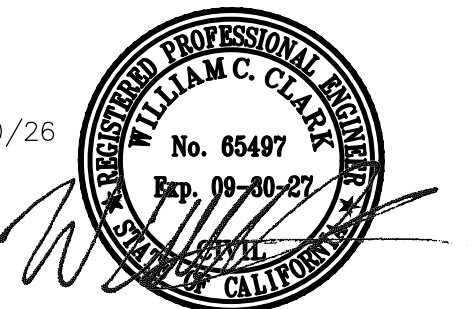
7 CONCRETE PAVING
C3.01 NTS

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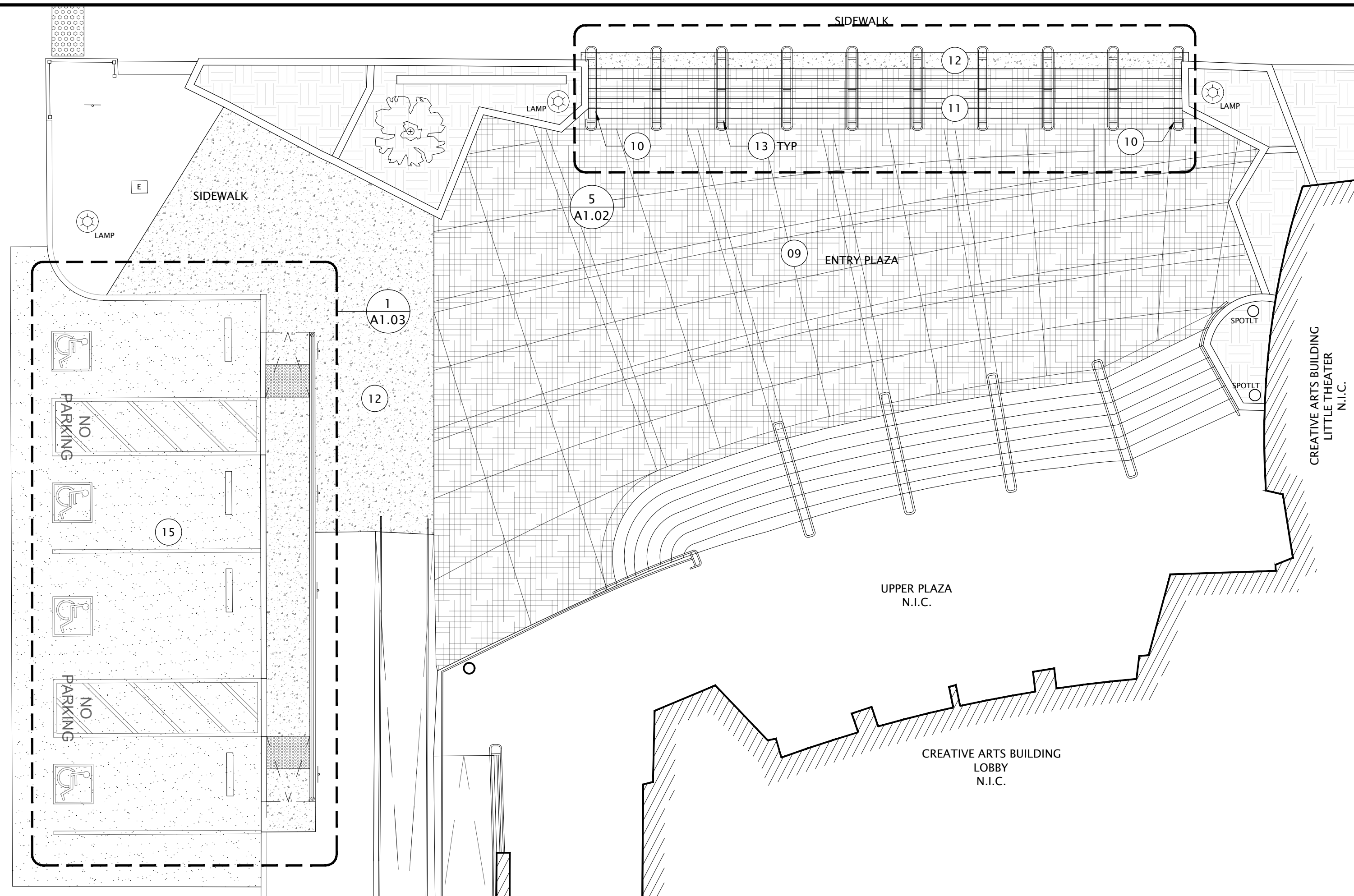
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Pittsburg High School Creative Arts Building Entry Plaza Modernization

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DETAILS

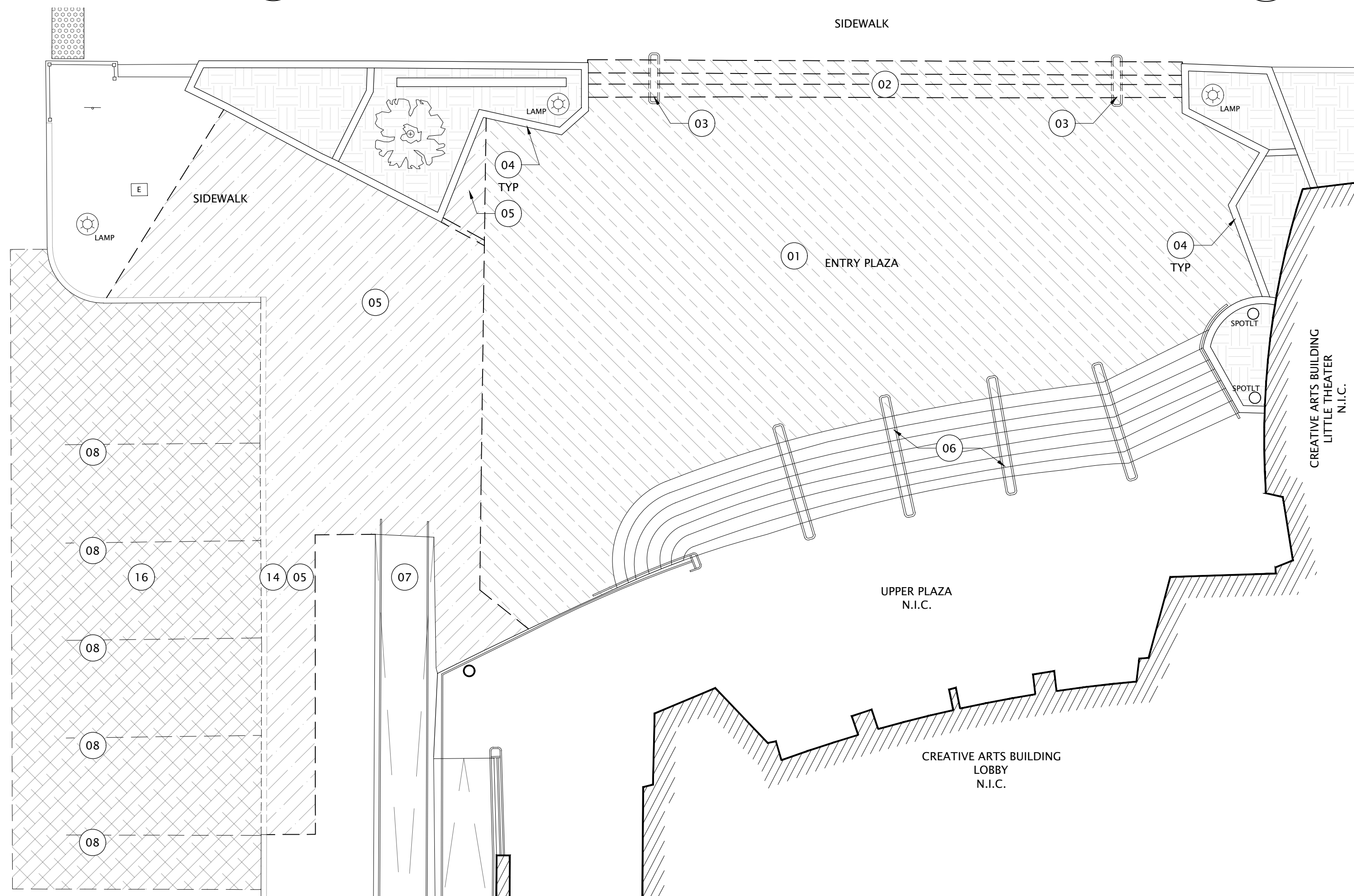
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Date
July 20, 2026



1 ENLARGED PROPOSED PLAZA PLAN

SCALE: 1/8" = 1'-0"



2 ENLARGED PLAZA DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

SHEET NOTES

- A. ALL WALK SURFACES IN THE AREA OF WORK PATH OF TRAVEL AND RUNNING TRACK SHALL HAVE FLUSH TRANSITIONS TO ALL ADJACENT WALK SURFACES IN AREA OF WORK PATH OF TRAVEL AND SHALL HAVE NO MORE THAN 4" DROPOFF ON EITHER SIDE OF WALK PARALLEL TO THE PATH OF TRAVEL, UNLESS 6" HIGH CURB OR OTHER WARNING DEVICE IS PROVIDED.
- B. FOR RELATED WORK SEE CIVIL DRAWINGS.
- C. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ENGAGE A CALIFORNIA REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR TO PERFORM FIELD ENGINEERING AND THOROUGHLY REVIEW TOPOGRAPHIC SURVEY, PITTSBURG HIGH SCHOOL," PREPARED BY CLARK CIVIL ENGINEERING DATED JUNE 26, 2026." NOTIFY ARCHITECT OF DISCREPANCIES.
- D. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, LOCATE AND IDENTIFY (E) UNDERGROUND UTILITIES & SUBSTRUCTURES. PROTECT SAME FROM DAMAGE & DISLODGE. NOTIFY ARCHITECT OF UNFORESEEN CONDITIONS IN CONFLICT WITH NEW WORK FOR RESOLUTION; PRIOR TO COMMENCEMENT OF DEMOLITION.
- E. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, CLEAR AREA OF EXISTING VEGETATION, ORGANIC LADEN SOILS, BUILDING MATERIALS, LOOSE SOIL, PAVEMENT SECTIONS & DEBRIS. HAZARDOUS MATERIALS MITIGATION REQUIREMENTS ARE PER PUSD GENERAL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL AND RECORDING OF DEBRIS PER STATE & LOCAL ORDINANCES.
- F. EXISTING UNDERGROUND UTILITIES INDICATED TO BE ABANDONED OR REMOVED SHALL BE CUT & REMOVED FROM AREA OF WORK, CAP ENDS OF (E) UTILITIES. BACK FILL WITH APPROVED COMPACTED FILL. S.C.D.
- G. FURNISH & INSTALL DESIGN-BUILD, ENGINEERED, TEMPORARY SHORING WHERE REQUIRED TO RETAIN (E) SURROUNDING ELEMENTS. PERFORM TEMPORARY EXCAVATIONS PER GEOTECH REPORT AND REVISIONS.
- I. SUBGRADE SOILS IN AREAS TO RECEIVE ENGINEERED FILL SHOULD BE SCARIFIED MINIMUM TWELVE (12 INCHES); MOISTURE CONDITIONED TO WITHIN TWO - FIVE (2-5) PERCENT OVER OPTIMUM MOISTURE CONTENT AND COMPACTED TO 98-92% RELATIVE COMPACTION BELOW CONCRETE PAVING AREAS. AGGREGATE BASE AND ASPHALT CONCRETE SHOULD BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- J. TEMPORARY PROTECTION: PROTECT EXISTING TREES, FENCE, GATES, STRIPING, ASPHALT AND FLATWORK, CURBS, WALLS, UTILITIES & OTHER ELEMENTS INDICATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION. REMOVE TEMPORARY PROTECTION AT END OF CONSTRUCTION. RESTORE EXISTING SURROUNDING ELEMENTS AS REQUIRED.
- K. ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- L. CONTRACTOR SHALL OBTAIN ALL UTILITY AND/OR ENCROACHMENT PERMITS.

KEYNOTES

- 09 PROVIDE & INSTALL STAINED CONCRETE PATIO.
- 10 PROVIDE & INSTALL HANDRAIL PER 1/A1.02.
- 11 PROVIDE & INSTALL STAINED CONCRETE STEPS TO SIDEWALK.
- 12 PROVIDE & INSTALL CONCRETE SIDEWALK CONFORMED TO ADJACENT GRADE. S.C.D. FOR ADDITIONAL.
- 13 PROVIDE & INSTALL HANDRAIL PER 2/A1.02.
- 15 PROVIDE & INSTALL ACCESSIBLE PARKING STALLS, CURB RAMP, GUARDRAIL & PARKING SIGNAGE, S.S.D. FOR GRADES & EXTENTS OF PAVING.

DEMOLITION KEYNOTES

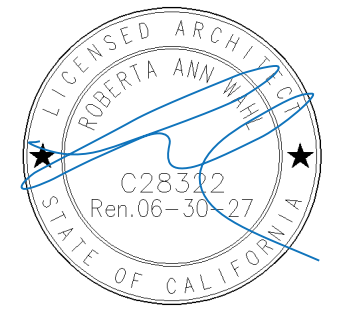
- 01 REMOVE EXISTING BRICK PAVERS, BASE COURSE AND SUBGRADE DOWN 12IN MIN. S.C.D. FOR EXTENTS OF REGRADING.
- 02 REMOVE EXISTING BRICK STAIR
- 03 REMOVE EXISTING HANDRAIL & FOOTINGS
- 04 PROTECT EXISTING SITE PLANTER IN PLACE
- 05 REMOVE EXISTING CONCRETE PAVING, S.C.D.
- 06 PROTECT EXISTING BRICK STAIR AND HANDRAILS IN PLACE.
- 07 PROTECT EXISTING CONC. RAMP AND HANDRAILS IN PLACE.
- 08 REMOVE EXISTING PARKING STRIPING AND PREP SURFACE FOR NEW ACCESSIBLE STALLS.
- 14 REMOVE EXISTING CONCRETE CURB.
- 16 REMOVE & REPLACE EXISTING AC PAVING AND SUBBASE, S.C.D.

LEGEND

- EXISTING BUILDING
- AREA OF EXISTING BRICK PAVING & STEPS TO BE REMOVED
- AREA OF EXISTING CONC. PAVING TO BE REMOVED
- AREA OF EXISTING ASPHALT PAVING TO BE REMOVED
- AREA OF CONC. PAVING TO BE INSTALLED, S.C.D.
- AREA OF INTEGRAL COLOR CONCRETE PAVING TO BE INSTALLED. SEE 1/A1.04 FOR FINISHES & TEXTURES
- AREA OF ASPHALT PAVING TO BE INSTALLED, S.C.D.
- 01 KEY NOTE, SEE ABOVE

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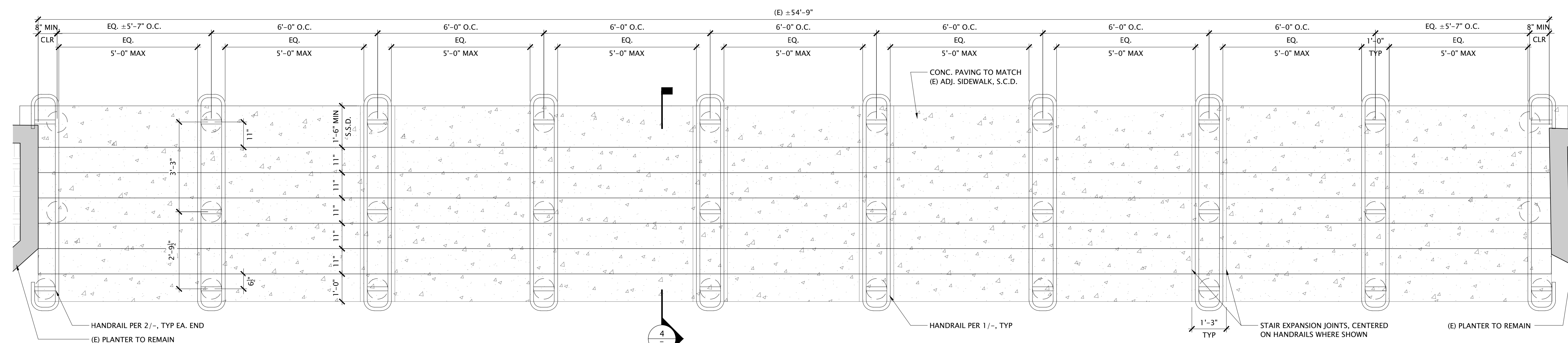
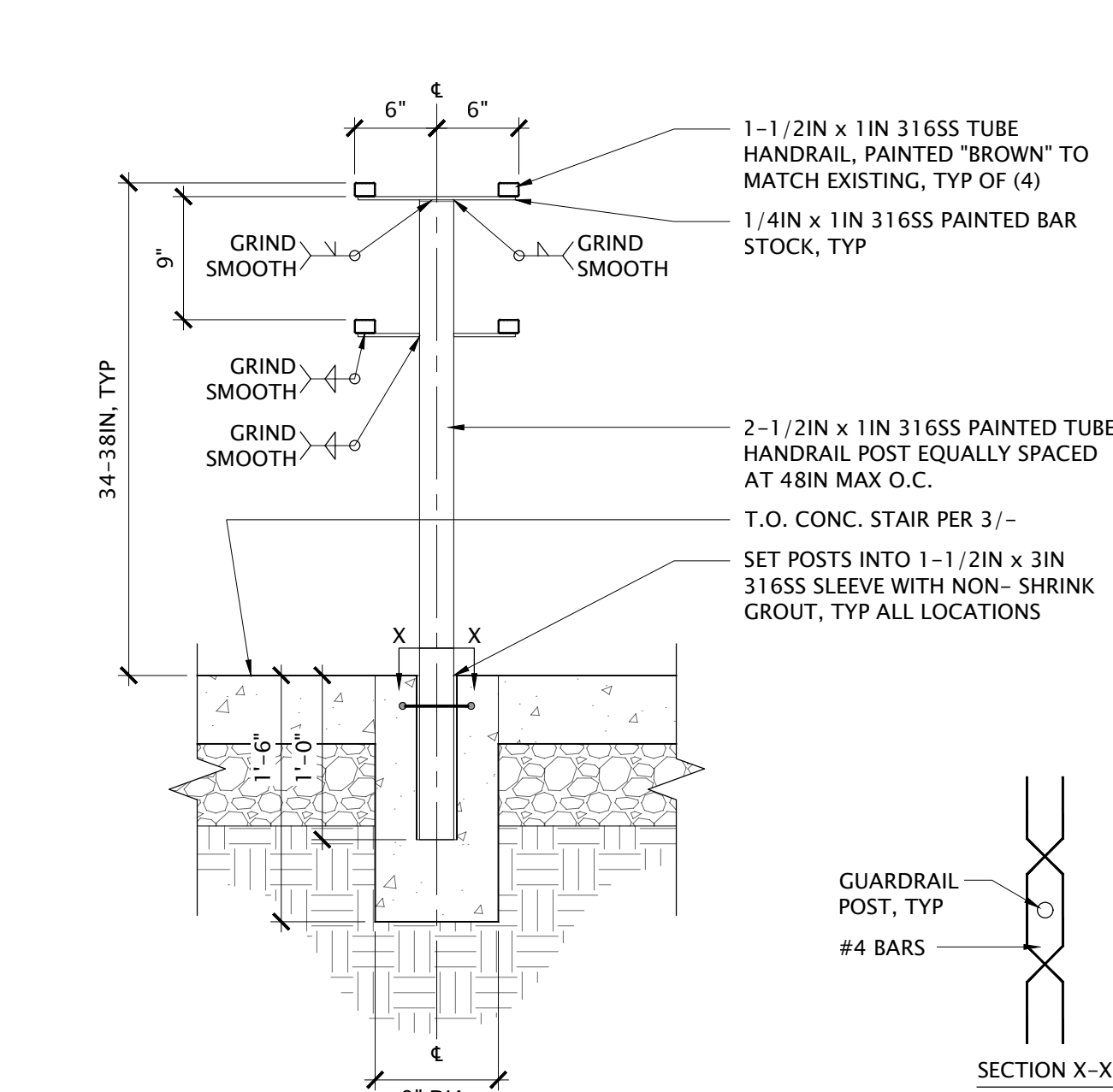
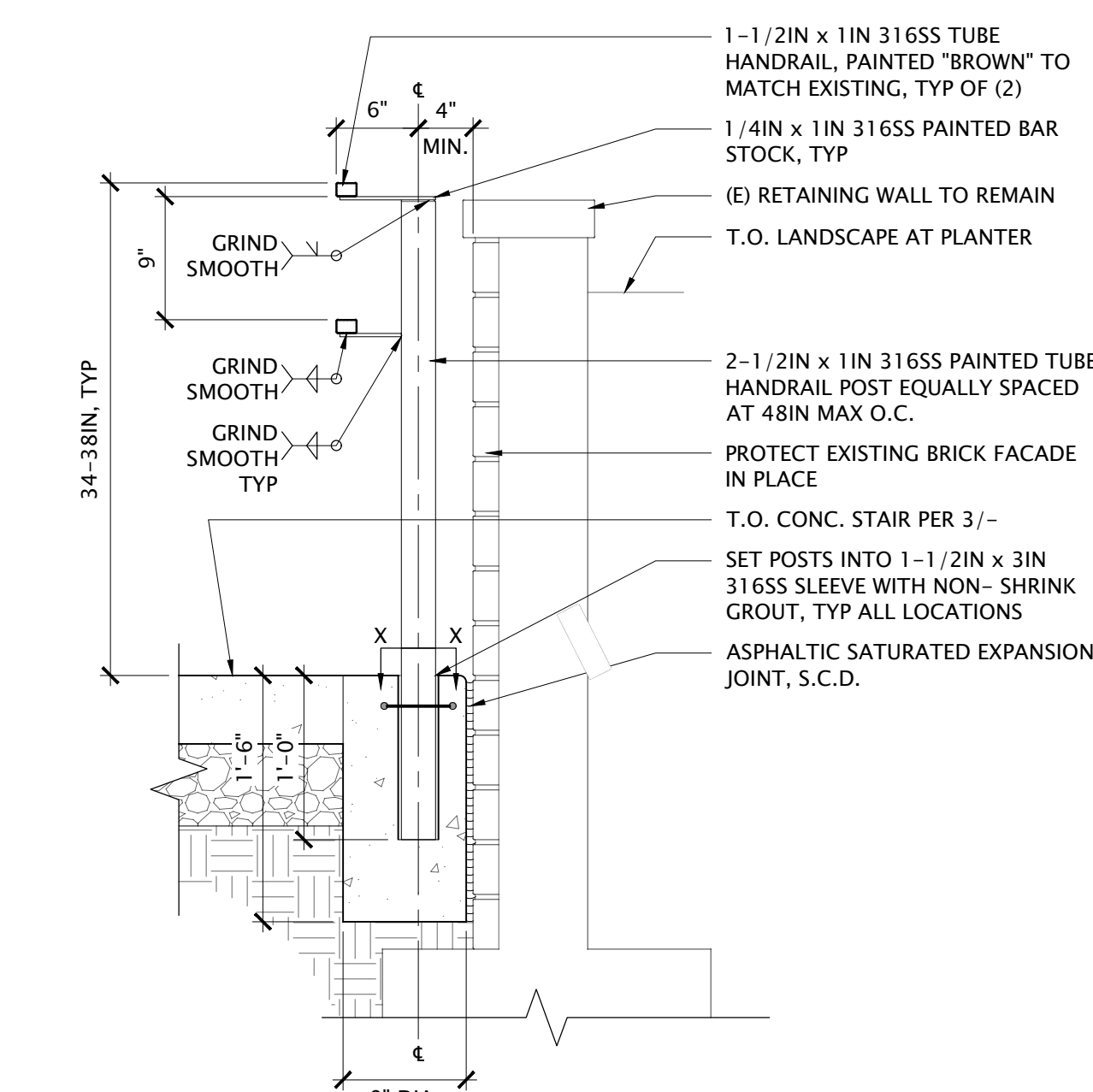
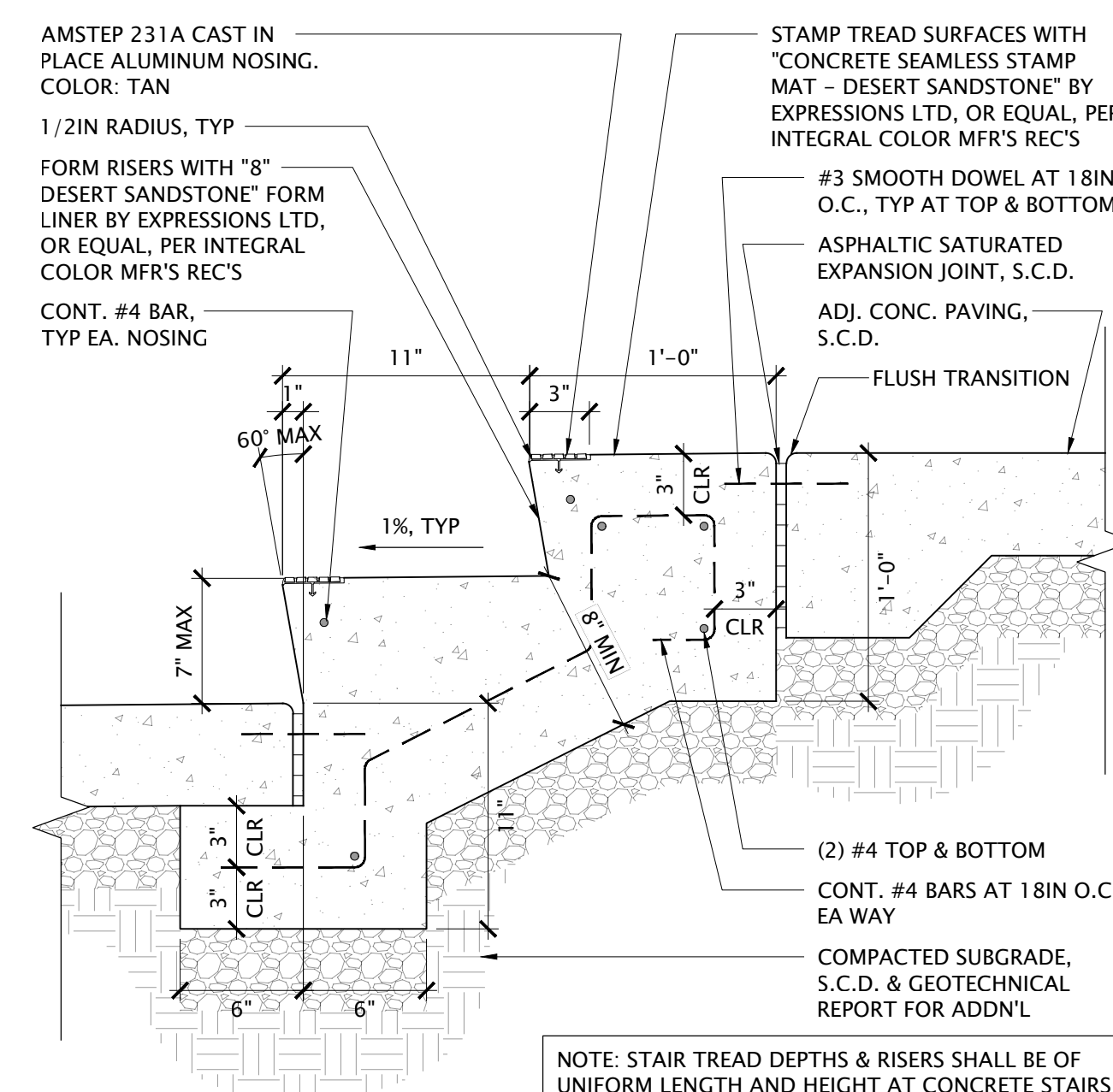
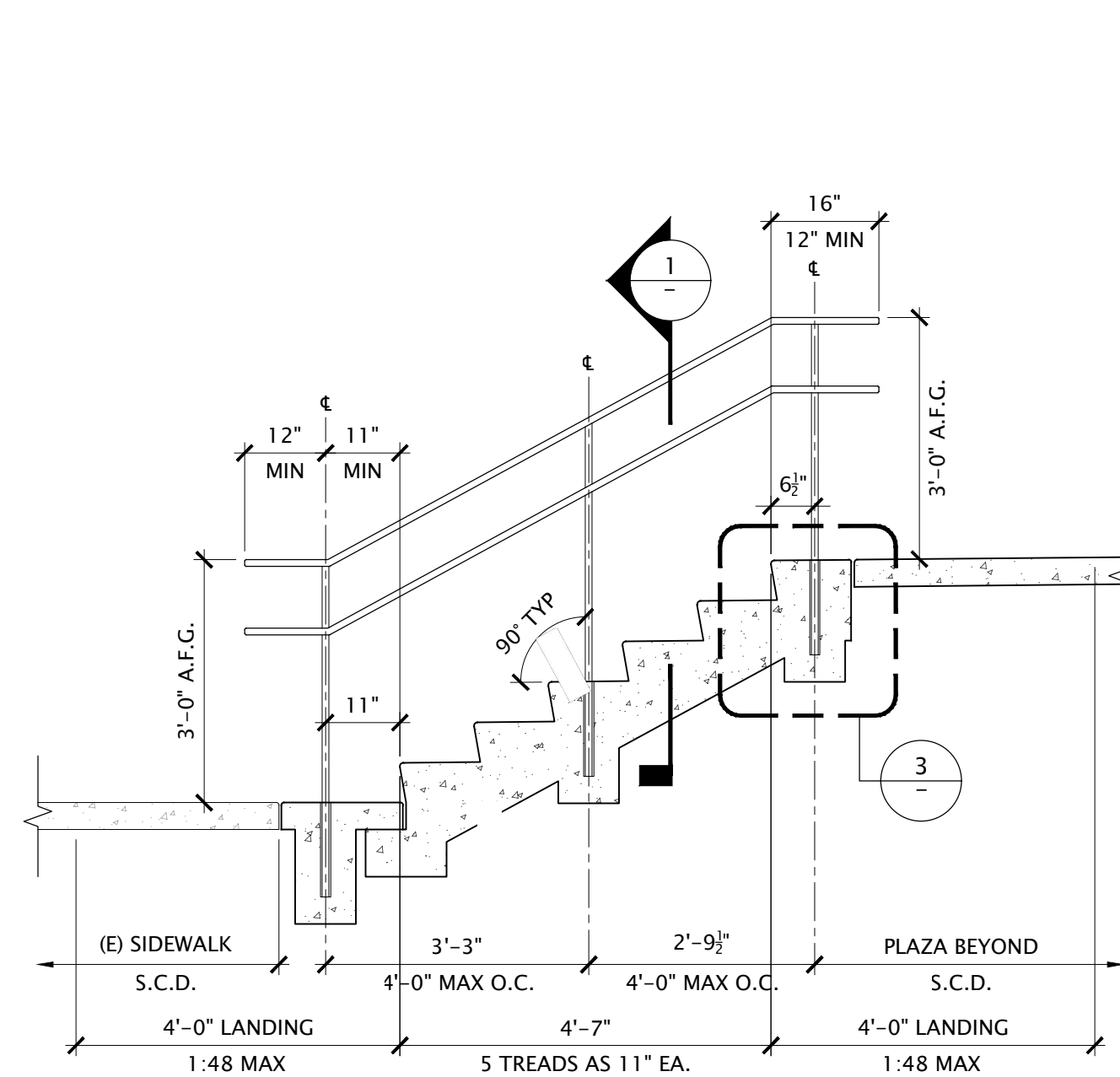
Project 2604
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ENLARGED PLAZA PLANS

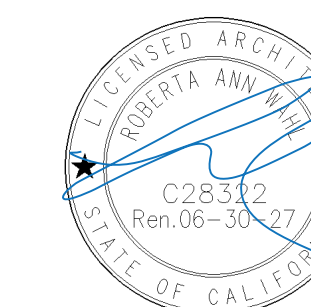
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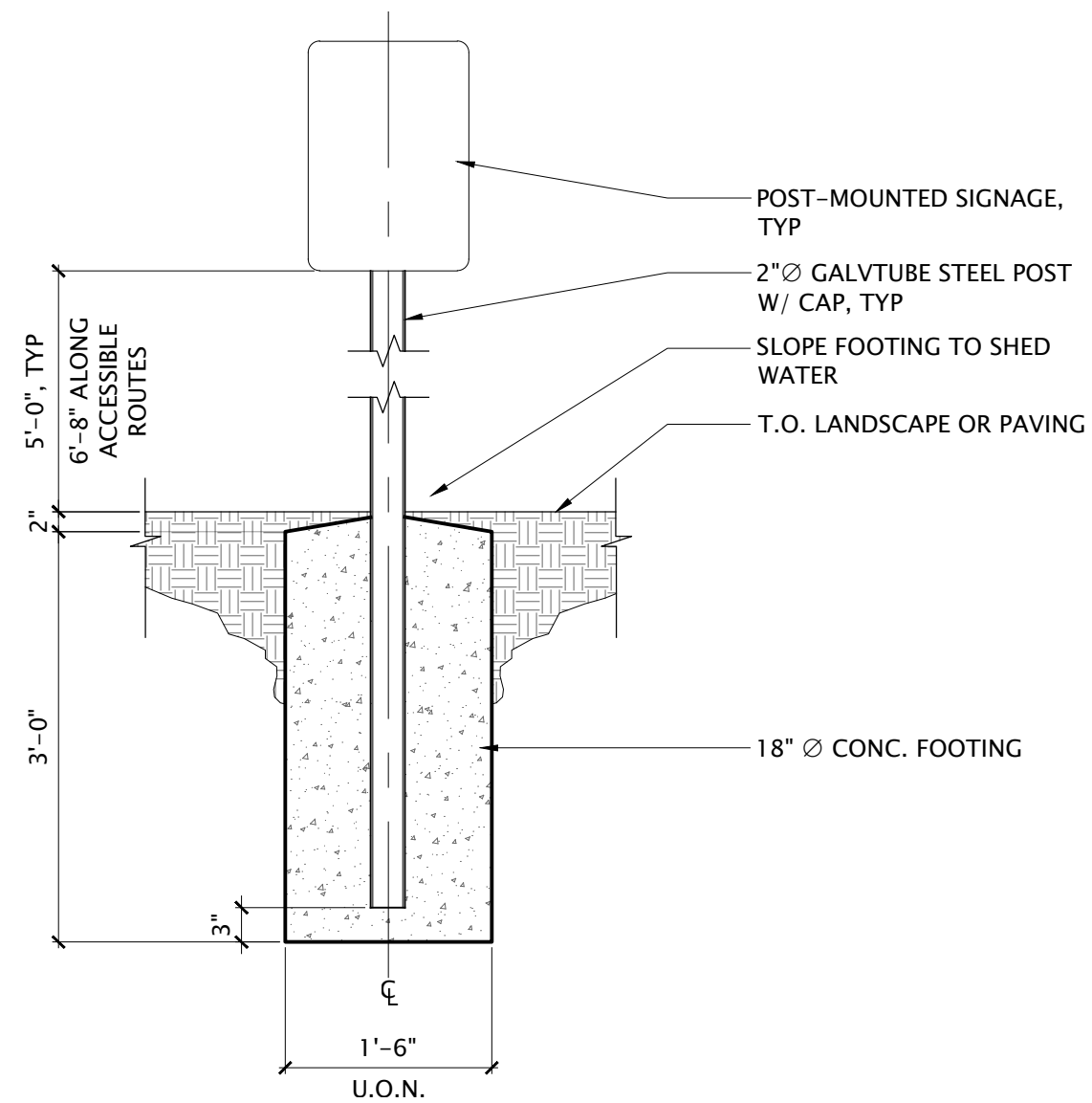
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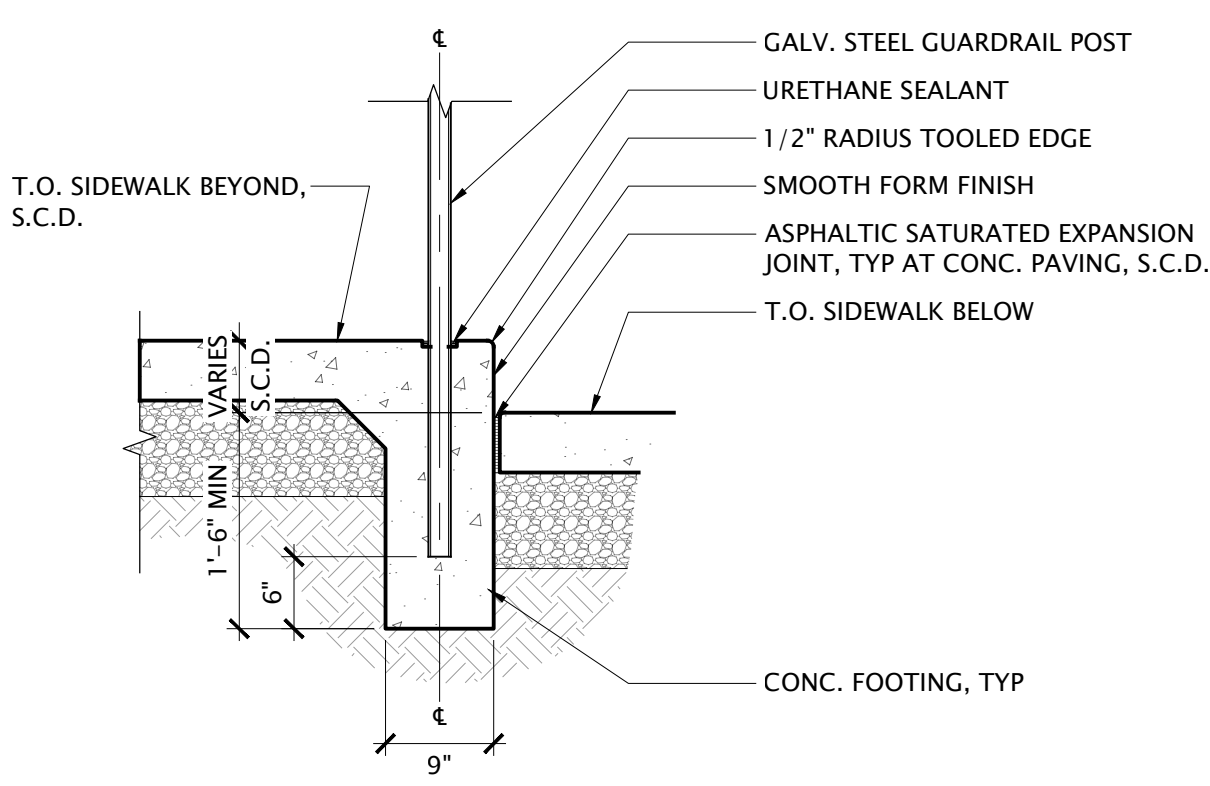
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SITE DETAILS

A1.02

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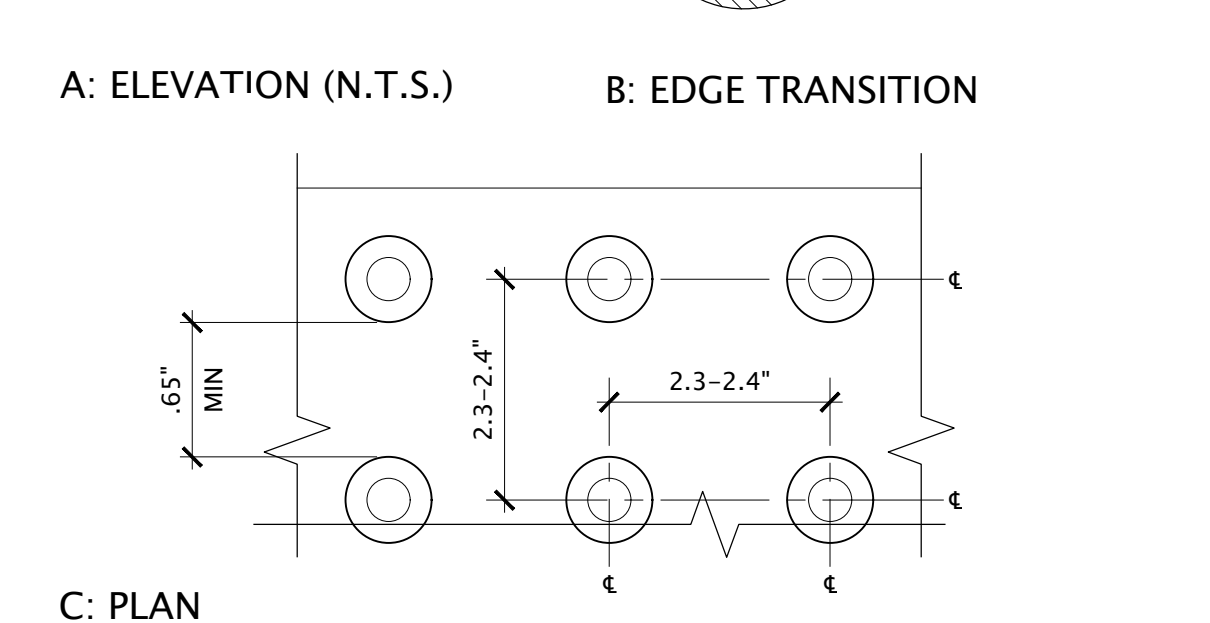
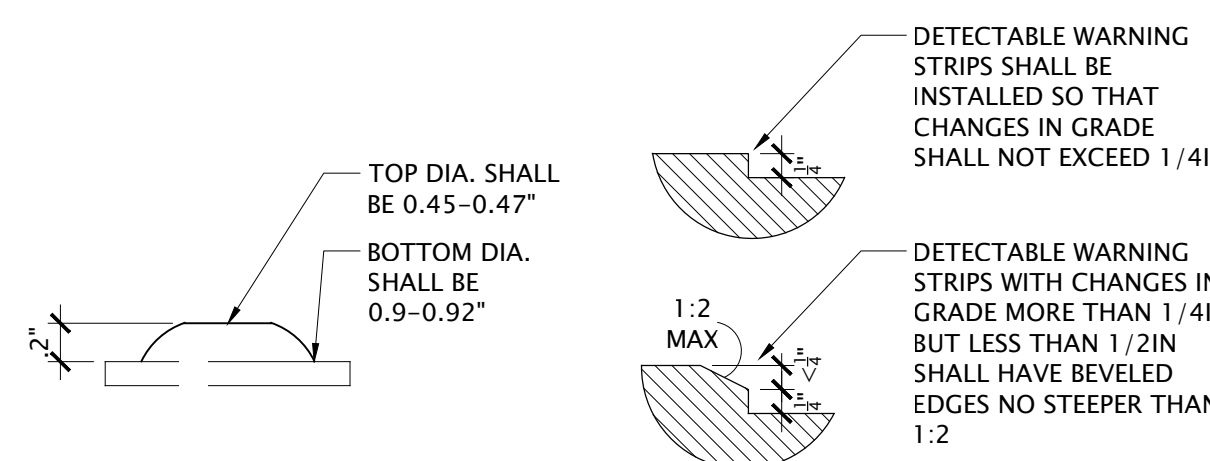


6 TYPICAL SIGN FOOTING
SITE-POST-FOOTING.DWG SCALE: 3/4" = 1'-0"

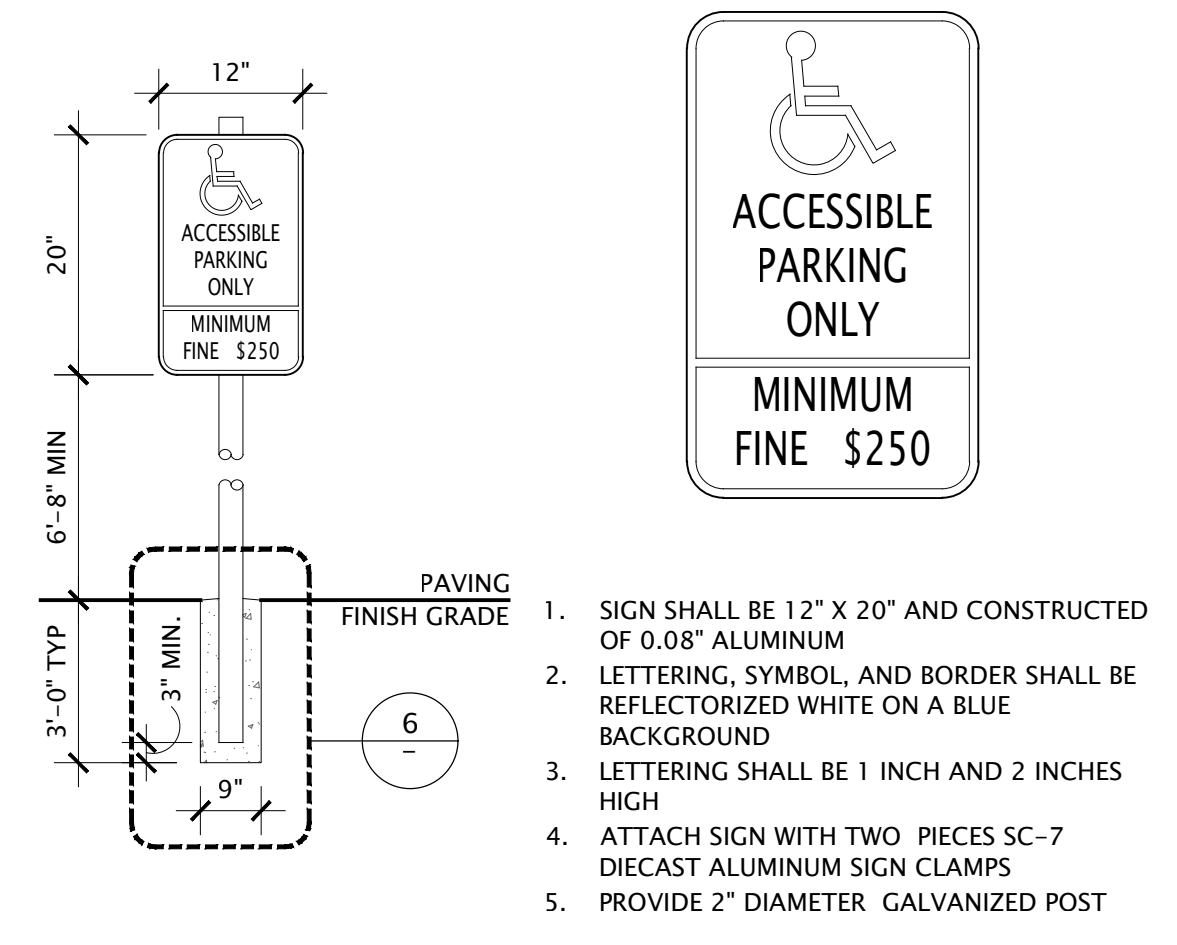


7 POST FOOTING AT CONC. CURB
conc curb with post.dwg SCALE: 3/4" = 1'-0"

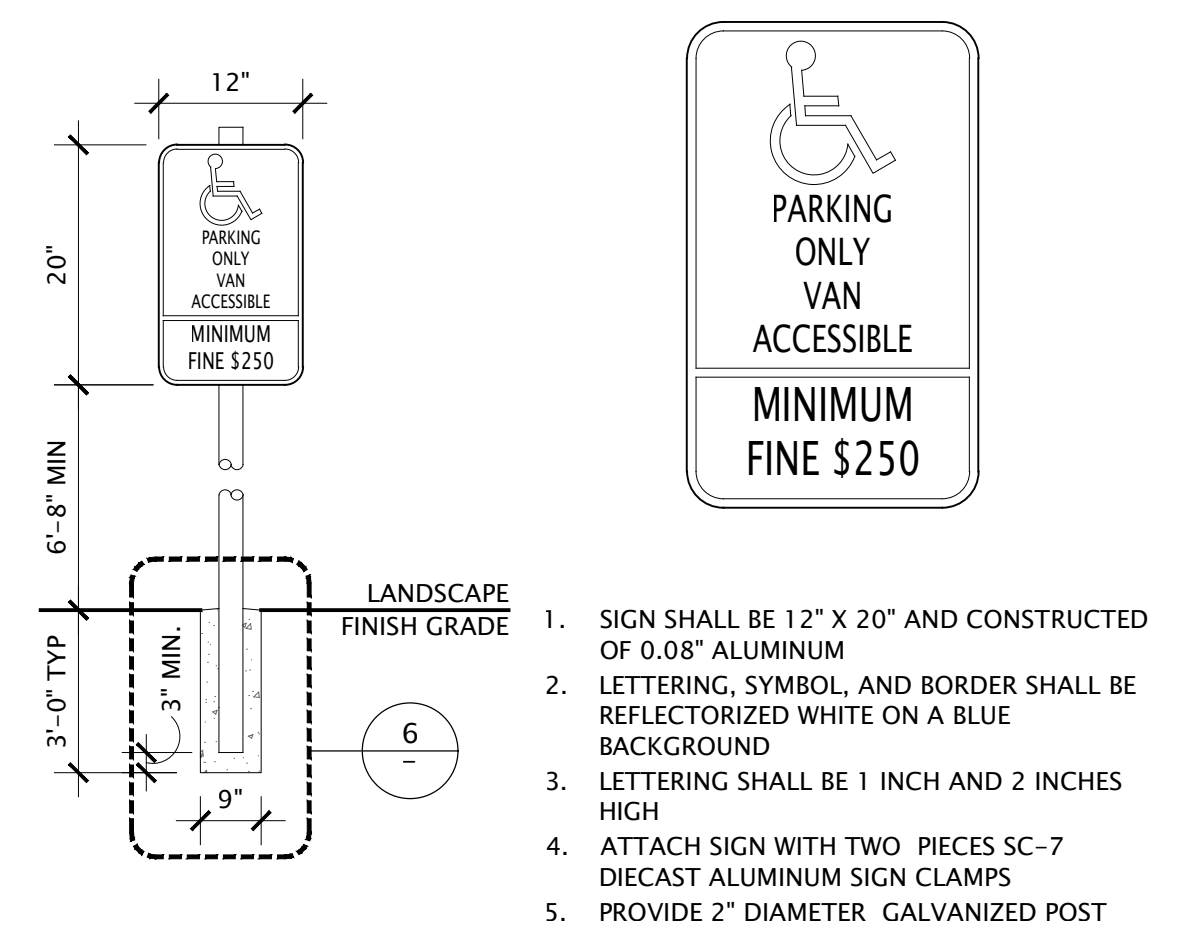
NOTES:
DETECTABLE WARNINGS SHALL COMPLY WITH CBC 11B-705. DETECTABLE WARNINGS AT CURB RAMP SHALL EXTEND 36" IN THE DIRECTION OF TRAVEL. DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE RAMP RUN, LESS 2" AT EACH SIDE SO THAT THE NEAREST CURB IS 6'-8" FROM THE LINE AT THE FACE OF THE CURB MARKING THE TRANSITION BETWEEN THE CURB AND THE STREET.



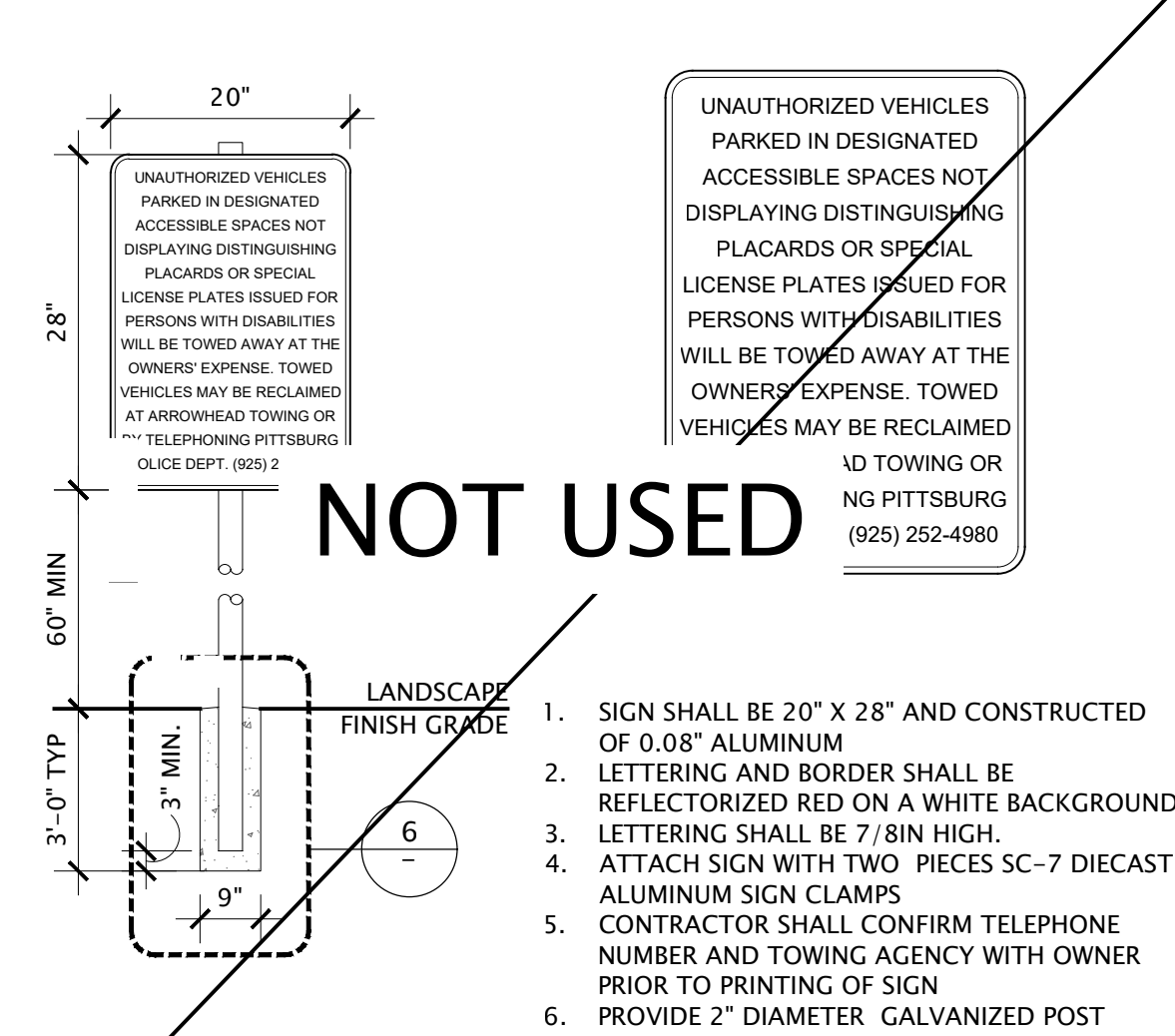
8 TRUNCATED DOMES
access_detectable-warning.dwg SCALE: 6" = 1'-0"



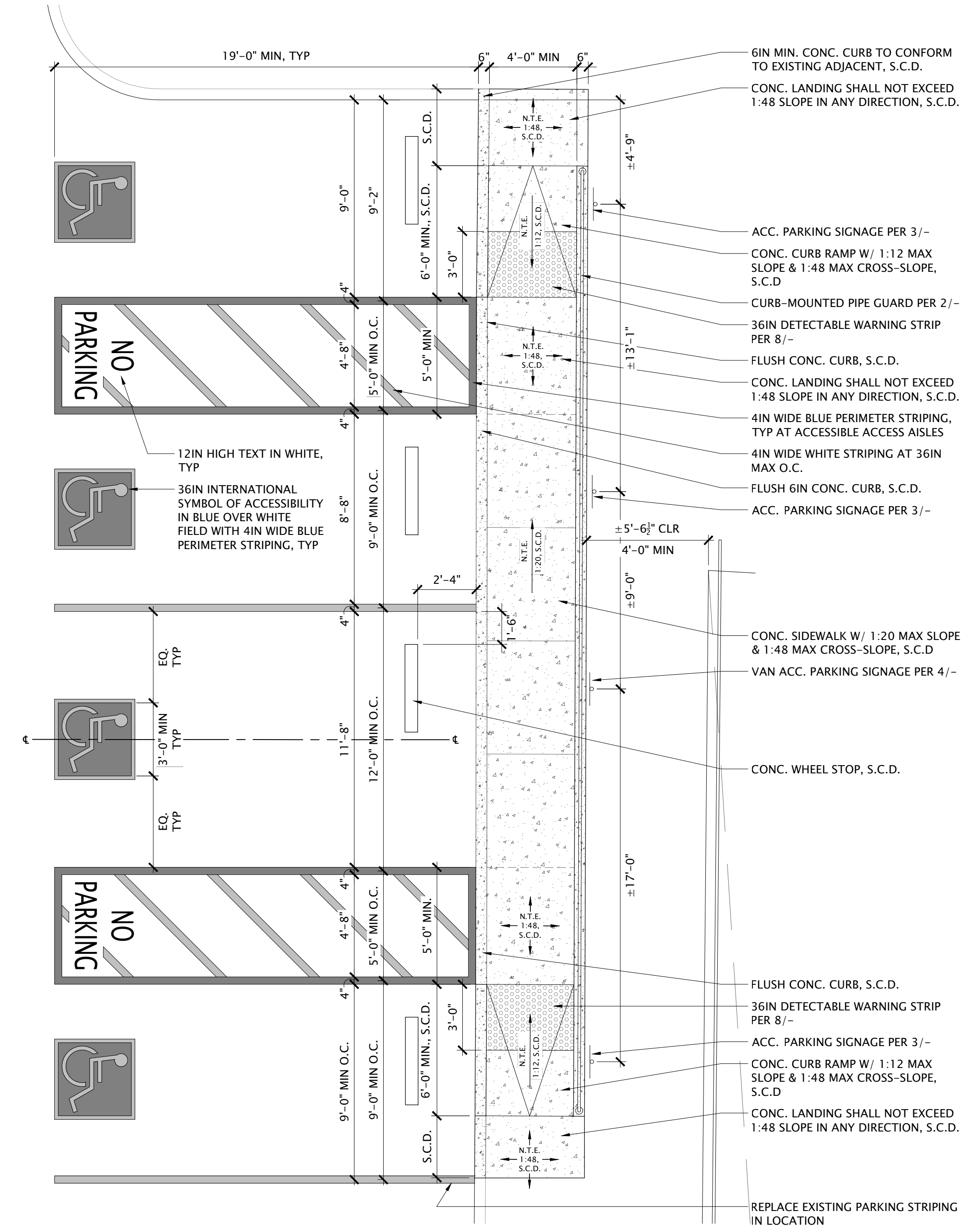
3 ACC. PARKING SIGN
tow away sign.dwg N.T.S.



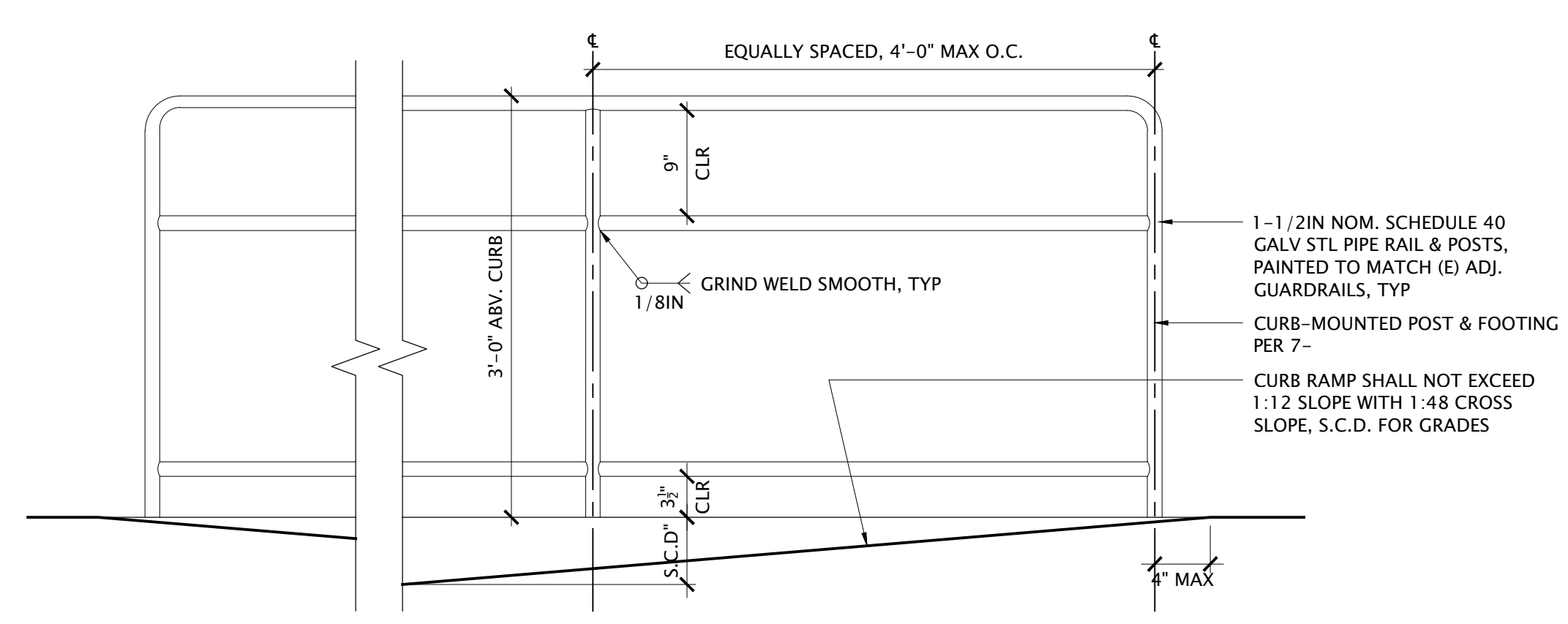
4 VAN ACC. PARKING SIGN
tow away sign.dwg N.T.S.



5 TOWAWAY SIGNAGE
accessible parking sign.dwg N.T.S.

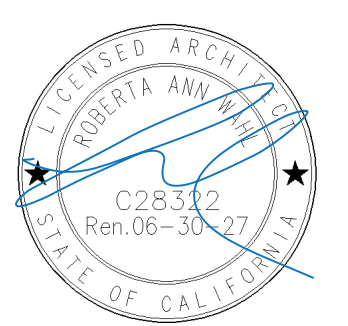


1 ENLARGED PARKING PLAN
det_accparking.dwg SCALE: 1/4" = 1'-0"



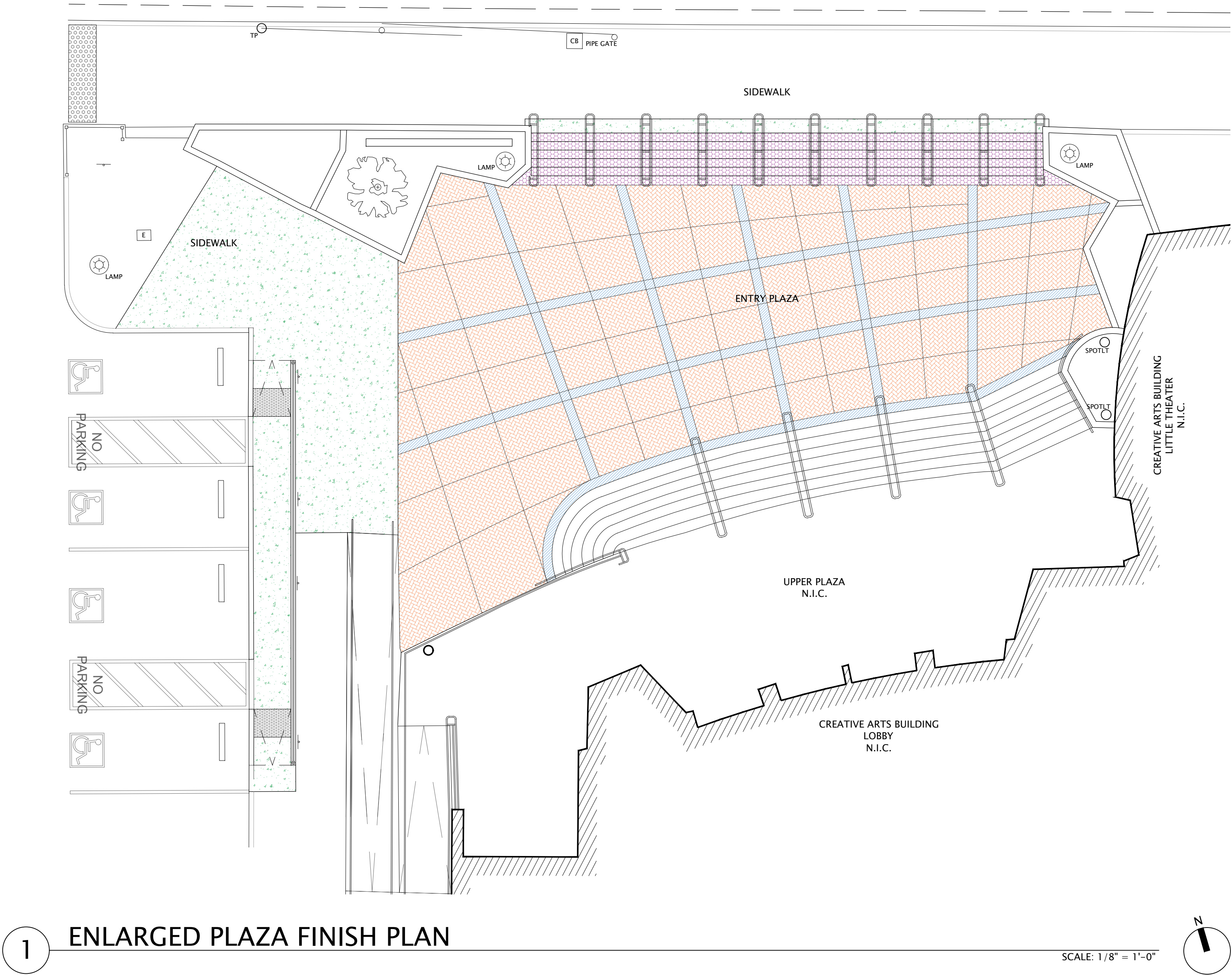
2 GUARDRAIL AT LOWERED SIDEWALK
site-railings.dwg SCALE: 1" = 1'-0"

PLUM architects
870 Market St, Ste 878, San Francisco, CA 94102
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Revisions	INITIAL SCHEMES
06/02/26	SCHEMATIC DESIGN
06/23/26	100% CD
07/25/26	

Project 2604
Pittsburg High School Creative Arts Building Entry Plaza Modernization
1750 Harbor Street
Pittsburg, CA 94565
Pittsburg Unified School District
Sheet
SITE DETAILS



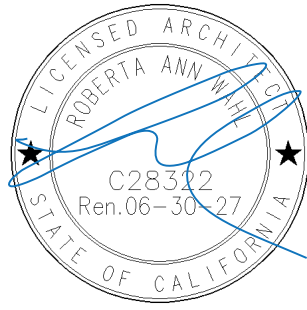
SHEET NOTES

(SEE A1.01 FOR APPLICABLE SHEET NOTES)

CONCRETE FINISH KEY

	INTEGRAL COLOR: SIKACOLOR 100P "U34 HAMPSHIRE RED"
	STAMP: SIKA PATTERN #56606 "PENNSYLVANIA AVENUE HERRINGBONE BRICK"
	RELEASE COLOR: SIKACOLOR 300 "R18/SGR18/PT18 CHESTNUT"
	TEXTURE: SIKA PATTERN #580960/#57318-TS "NEW BRICK"
	INTEGRAL COLOR: SIKACOLOR 100P "U31 WEATHERED TERRA COTTA"
	STAMP: NONE
	RELEASE COLOR: N/A
	TEXTURE: SIKA PATTERN #580960/#57318-TS "NEW BRICK"
	INTEGRAL COLOR: SIKACOLOR 100P "U31 WEATHERED TERRA COTTA"
	STAMP: EXPRESSIONS LTD "SEAMLESS STAMP MAT, DESERT SANDSTONE" & "8IN DESERT SANDSTONE FORM LINER"
	RELEASE COLOR: SIKACOLOR 300 "R15/SGR15/PT15 BRICK RED"
	TEXTURE: N/A
	INTEGRAL COLOR: N/A, MATCH TO (E) ADJ. SIDEWALK
	STAMP: NONE
	RELEASE COLOR: N/A
	TEXTURE: MATCH TO (E) ADJ. SIDEWALK

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	Revisions
INITIAL SCHEMES	06/02/26
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ENLARGED PLAZA FINISH PLAN

A1.04
Date
July 20, 2026