

Pacific Grove Unified School District
435 Hillcrest Avenue, Pacific Grove, CA 93950
Pacific Grove High School Site Improvements
Notice to Bidders - Addendum 03

Addendum Date: 09/24/2026

Addendum by: Ausonio Incorporated/Brailsford & Dunlavey

Attn: All Bidders

You are hereby notified of the following Additions/Deletions/Revisions to the Project Manual/Specifications and Drawings for this project, identified as Addendum 03.

Addendum 03 documents shall take precedence over the bidding documents previously issued.

Bidders shall acknowledge receipt and inclusion of Addendum 03 on their Bid Proposal.

AD03-01: Pre-bid questions

1. Please clarify the required finish for the new fence system. Are the new fence fabric, posts, rails, gates, fittings, and associated hardware all intended to be black vinyl-coated/black finish, or is only the fence fabric to be black vinyl-coated with the remaining components galvanized to match the existing fencing.
Per Addendum 02, vehicle gates are already installed with galvanized chain link. New pedestrian gates to match existing vehicle gates.
2. During the site walk, the fencing scope was discussed. It appears that many of the fencing improvements as called out on the plans have already been completed in July of this year. Please clarify the overall fencing scope, and advise that any details need to be amended or eliminated.
Per Addendum 02, fencing has already been installed. The scope for this project is the new pedestrian gates.
3. In addition to the previous question, the plans call for 8' fence and gates. During the site walk, we saw the existing vehicular gates as 6' tall. Please clarify if the new fence and gates should match the existing.
Pedestrian gates should match existing 6' tall vehicular gates and fence.
4. Detail 8/A1.22 shows the new concrete improvements for the new pedestrian gate. During the site visit, we saw a pullbox box within the limits of this concrete scope. Please advise if bids should account for resetting this box.
See Exhibit A – Addendum 03 attached to this addendum for a revised Detail.
5. Who is responsible for surveying and testing?
The contractor is responsible for surveying. District will provide testing, as required per DSA 103.
6. Is construction water available on site?
Per Special Conditions section 007313, water is available for use.
7. During the site walk, we discussed potentially adding housekeeping pads below the existing bleachers near the baseball field. Please advise if a plan change will incorporate these discussions.
Please see attached Exhibit B – Addendum 03 for revised drawings including housekeeping pads and sidewalks. This supersedes Exhibit D from Addendum 02.
8. At each new ped gate location will you be installing a new concrete walkway and if so, I would assume our gate posts are being installed in dirt prior to concrete paving. Please clarify.
Please see Exhibit E from Addendum 02 for clarification on walkways. Gate posts can be installed in dirt prior to paving.

9. Do we need to connect existing chain link fencing to the new gate posts and if so, do you have pictures you could provide of each location so we can see what we are tying into?
See Exhibit C – Addendum 03 for photos of each gate location.
10. Do you have a gate opening size?
The pedestrian gate at Building S to be 3'-0", per the DSA approved drawings.
11. Will the spring closer hinges spec'd out will meet the requirements (LOCINOX SERVALLSD-R ADJUSTABLE GATE SPRING HINGE, TYP). Closer hinges spec'd would be for a small light residential gate or a small apartment complex pool gate. "ADJUST GATE SPRING HINGES SOTHAT FROM A 90 DEGREEE OPEN POSITION, THE TIME REQUIRED TO MOVE THE GATE TO AN OPEN POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MIN."
See AD03 detail 15/A1.23 for clarification of the required hinges at Building S pedestrian gate.

Attachments:

Exhibit A: PGHS Addendum 03 Narrative (09/24/26 – DCA)

Exhibit B: PGHS Addendum 03 Drawings (09/24/26 – DCA)

Exhibit C: Gate Location photos

[END OF ADDENDUM 03]



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SAN JOSE, CA 95113
408.320.4871

EXHIBIT A
CENTRAL VALLEY OFFICE
3031 W MARCH LN, STE 334
STOCKTON, CA 95219
209.462.2873

**PACIFIC GROVE UNIFIED SCHOOL DISTRICT
Pacific Grove High School
Site Improvement Project
Bid Number HS-MD83**

ADDENDUM 03

PROJECT:	Pacific Grove High School Site Improvement Project 615 Sunset Dr. Pacific Grove CA 93950	DATE: 09-24-26
OWNER:	Pacific Grove Unified School District 435 Hillcrest Avenue Pacific Grove, CA 93950	DSA APP. NO.: 01-122936
ARCHITECT:	Derivi Castellanos Architects 95 S. Market St, Suite 480 San Jose, CA 95113	DSA FILE NO.: 27-H4 Architects Project No.: 25.054

Notice is hereby given that the Contract Documents of the subject project are modified as hereinafter set forth in this addendum. This Addendum shall be attached to and form a part of the Contract Documents.

1.0 SPECIFICATIONS-PROJECT MANUAL

Architectural:
NONE

Civil:
NONE

2.0 DRAWINGS

Architectural:

ITEM 2D.001 **Sheet A1.10 FIRE LIFE SAFETY PLAN** – Revise Scope Of Work area adjacent to existing Building S and the baseball field area.

ITEM 3D.002 **Sheet A1.11 ACCESS COMPLIANCE PLAN** – Revise Scope Of Work area adjacent to existing Building S and the baseball field area.



- ITEM 3D.003** **Sheet A1.01 CAMPUS DEMO SITE PLAN** – Revise Demolition Scope Of Work area adjacent to existing Building S and the baseball field area.
- ITEM 3D.004** **Sheet A1.11 CAMPUS SITE PLAN** – Revise Scope Of Work area adjacent to existing Building S and the baseball field area.
- ITEM 3D.005** **Sheet A1.21 SITE DETAILS** – Per 1/A1.21, revise Scope Of Work area adjacent to existing the baseball field area
- ITEM 3D.006** **Sheet A1.21 SITE DETAILS** – Per 3/A1.21, revise Scope Of Work area adjacent to existing the baseball field area
- ITEM 3D.007** **Sheet A1.22 SITE DETAILS** – Per 8/A1.22, revise Scope Of Work area adjacent to existing Building S.
- ITEM 3D.008** **Sheet A1.23 SITE DETAILS** – Per 3/A1.23, revise notation to read “CHAIN LINK MESH”
- ITEM 3D.009** **Sheet A1.23 SITE DETAILS** – Per 8/A1.23, revise notation to read “CHAIN LINK FENCE ASSEMBLY”
- ITEM 3D.010** **Sheet A1.23 SITE DETAILS** – Per 11/A1.23, revise notation to read “NOTE: 1” CHAIN LINK MESH, TOP, BOTTOM, AND SIDE BARS AND FRAMEWORK”
- ITEM 3D.011** **Sheet A1.23 SITE DETAILS** – Per 15/A1.23, revise hinge type and fence notes.
- ITEM 3D.012** **Sheet A1.23 SITE DETAILS** – Per 16/A1.23, revise notation to read “CHAIN LINK MESH. INSTALL ON OUTSIDE OF FENCE”

CONSULTANT DRAWINGS

Civil:

- ITEM 3D.013** **C1.1 – DEMOLITION PLAN**
Revise: Demolition limit and work revised according to updated Site work at baseball field area.
- ITEM 3D.014** **C2.1 – GRADING & DRAINAGE PLAN**
Revise: Grades and Slopes added/revised at revised Concrete paving, adjacent to baseball field area.
Revise: Drain Inlets added adjacent to baseball field area.
- ITEM 3D.015** **C4.1 – HORIZONTAL CONTROL PLAN**
Add: Dimension added to new concrete pad adjacent to baseball field area.

END OF ADDENDUM ITEMS

ATTACHMENTS:

Specifications:

None

Construction Drawings:

A0.10 FIRE LIFE SAFETY PLAN

A0.11 ACCESS COMPLIANCE PLAN

A1.01 CAMPUS DEMO SITE PLAN

A1.11 CAMPUS SITE PLAN

A1.21 SITE DETAILS

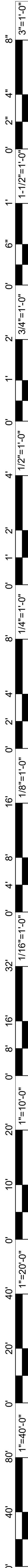
A1.22 SITE DETAILS

A1.23 SITE DETAILS

C1.1 – DEMOLITION PLAN

C2.1 – GRADING & DRAINAGE PLAN

C4.1 – HORIZONTAL CONTROL PLAN



CONTRACTOR SHALL MAINTAIN FIRE DEPARTMENT ACCESS THROUGHOUT
DEMOLITION AND CONSTRUCTION

COMPLIANCE WITH CHAPTER 33 (FIRE SAFETY DURING CONSTRUCTION
AND DEMOLITION) AND CBC CHAPTER 33 (SAFETY DURING CONSTRUCTION)
WILL BE ENFORCED.

-002 (E) REMOVABLE BOLLARD PER DSA #01-110348
-003 (E) EXTERIOR DOOR TO REMAIN LOCKED FOR STUDENTS & STAFFS
-009 ATTACH NON-EDUCATIONAL USE SIGNAGE TO THE BUILDING AT DOOR
ENTRANCES - SEE DETAIL 18/A1.23
-001 VEHICULAR PIPE GATES
-002 VEHICULAR BLACK VINYL CHAIN LINK FENCE & GATES
-004 TRANSITIONAL PAVEMENT TO PROPOSED COMPLIANT FIRE LANE

	AC PAVING, REFER TO CIVIL DRAWINGS
	CONCRETE PAVING, REFER TO CIVIL DRAWINGS
	(E) BUILDING - NOT IN SCOPE OF WORK
	PROPERTY LINE
	(E) FIRE LANE (DSA #01-110348)
	(E) FIRE HYDRANT

DSA **810**

Division of the State Architect (DSA) documents referenced within this publication are available on the [DSA Forms](#) or [DSA Publications](#) webpages.

To facilitate the Division of State Architect's (DSA) fire and life safety plan review of project site conditions, DSA requires the design professional to provide the following information in time of project submittal for project consisting of construction of a new campus, construction of new building(s), additions to existing buildings, and for site alternate design means for fire department emergency vehicle access, and fire suppression water supply.

Information associated with compliance items 1 through 3 below is to be provided for all project types indicated above. Information associated with items 4 through 7 is to be completed when an alternate means is utilized. Acknowledgement by the school district and signature from the Local Fire Authority (LFA) is only required when an alternate design means is being requested.

The Project Information and Fire & Life Safety Information sections are to be completed for all projects and imaged onto the fire access site plan. When an alternate design/means is proposed, all sections on pages 1 and 2 are to be completed and imaged on the fire access site plan.

For additional information refer to the instructions at the end of this form and DSA Policy PL 09-01: *Fire Flow for Buildings*.

For additional information refer to the instructions at the end of this form and DSA Policy PL 09-01: Fire Flow for Buildings.

PROJECT INFORMATION			
School District/Zone: Pacific Grove Unified School District			
Project Name/School: Pacific Grove High School			
Project Address: 615 Sunset Drive, Pacific Grove, CA 93950			
FIRE & LIFE SAFETY INFORMATION			
1. Has a fire hydrant flow test been performed within the past 12 months (or, if none, provide a copy of the test data)?	Yes	☐	No ☒
2. Was the fire hydrant flow test performed as part of this LFA review?	Yes	☐	No ☒
3. Is the project located within a designated fire hazard severity zone (FHSZ) as established by Cal-PFV (if yes, indicate FHSZ classification below)?	Yes	☐	No ☒
Refer to the following website for FHSZ locations: Fire Hazard Severity Zones for Santa Cruz County	Moderate	☐	High ☐ Very High ☐
Wildland Interface Area (WIFA) (if designations are checked, project design must meet the requirements of CSD Chapter 7A)			WIFA ☐

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 DIVISION OF THE STATE ARCHITECT DEPARTMENT OF GENERAL SERVICES STATE OF CALIFORNIA

DSA 810
FIRE & LIFE SAFETY SITE CONDITIONS SUBMITTAL

CONDITION METS AND METHODS RESOLUTION		ALTERNATE ACCEPTANCE			
		YES	NO	NA	NR
4.	Emergency vehicle access roadways do not meet CFC requirements.			X	
4a.	Acceptable Alternative: Emergency vehicles and personnel access as proposed by the project architect is acceptable for providing fire suppression and protection of life and property.				
5.	Fire Hydrants: Number and spacing does not meet CFC requirements.				X
5a.	Acceptable Alternative: Number of fire hydrants and spacing as proposed by the project architect is acceptable for fire suppression and protection of life and property.				
6.	Fire Hydrants: Water flow and pressure are less than CFC minimum.				X
6a.	Acceptable Alternative: The available flow and pressure is acceptable for providing the department connected to the life and property.				
7.	Location of the department connected serving the sprinkler system or standpipe systems does not meet CFC requirements.				X
7a.	Acceptable Alternative: The location of the department connected serving the fire sprinkler system and/or standpipe system is acceptable for providing fire suppression and protection of the life and property.				

School District Acceptance of Acceptable Design Alternates

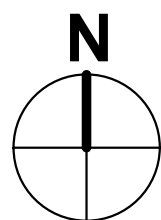
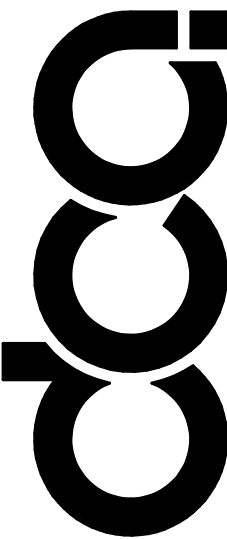
By signing this form, the school district acknowledges and accepts the proposed design as an alternative to California Building Code (CBC) and California Fire Code (CFC) minimum requirements, as indicated by one or more of the condition indicated at items 4a, 5a, 6a or 7a, for providing fire and life safety protection of life and property.

Accepted by: _____ Title: _____
Signature: _____ Date: _____

LOCAL FIRE AUTHORITY (LFA) INFORMATION	
LFA Agency Name:	
LFA Review Official:	
Title:	Work Phone:
Work Email:	

LEA Reviewer's Signature: _____ Date: _____

DGS DSA 810 (revised 12/29/20) DEPARTMENT OF GENERAL SERVICES Page 2 of 4
 DIVISION OF THE STATE ARCHITECT STATE OF CALIFORNIA

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PACIFIC GROVE HIGH SCHOOL

SITE IMPROVEMENTS

615 SUNSET DR.
PACIFIC GROVE, CA 93950

SHEET TITLE:

FIRE LIFE SAFETY PLAN

Revision Schedule		
NO.	Description	Date
3	Addendum 03	9/24/26

PROJECT #	25.054
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ISSUE DATE
07/22/2026

SHEET #

A0.10

1 ACCESS COMPLIANCE PLAN
SCALE: 1" = 80'-0"



DSA APPLICATION DATA

BUILDING ID	BUILDING DESCRIPTION	DSA APPLICATION #	SQUARE FOOTAGE	CONSTRUCTION TYPE	OCC.
A	ADMINISTRATION	12825, 01-103749, 01-110348	5,257 S.F.	V-B	E-1
B	CLASSROOMS	12825, 01-103749	5,280 S.F.	V-B	E-1
C	CLASSROOMS	13581, 01-103749, 01-110348	5,280 S.F.	V-B	E-1
D	CLASSROOMS	20015, 01-103749, 01-110348	5,518 S.F.	V-B	E-1
E	CLASSROOMS	12825, 20015, 103749, 01-110348	4,280 S.F.	V-B	E-1
F	CLASSROOMS	13581, 20015, 01-103749, 01-110348	4,200 S.F.	V-B	E-1
G	STORAGE - BASEMENT	20547, 01-103749, 01-110348	2,539 S.F.	V-B	E-1
H	LIBRARY - MAIN FLOOR	20547, 01-103479, 01-110348	7,445 S.F.	V-B	E-1
I	CLASSROOMS	20015, 01-103749	4,320 S.F.	V-B	E-1
J	PORTABLE	55482, 01-103749	960 S.F.	V-B	E-1
K-L	CLASSROOMS	22873, 01-103749	6,428 S.F.	V-B	E-1
M	CAFETERIA & ASSEMBLY	22873, 01-103749, 01-110348	11,939 S.F.	V-B	A-2, E
N	CLASSROOMS	22873, 01-103749, 01-110348	5,613 S.F.	V-B	E-1
O	CLASSROOMS	12825, 01-103749, 01-110348	5,946 S.F.	V-B	E-1
P	BOYS/GIRLS LOCKERS	16435, 20015, 01-103749, 01-110348	4,622 S.F.	V-B	E-1
Q	GYM/FITNESS ROOM	22873, 01-103749, 01-105501, 01-110348	13,322 S.F.	V-A	A-4
R	DANCE ROOM	01-110348	3,079 S.F.	V-A	A-3
S	PRACTICE GYMNASIUM	01-110348	5,163 S.F.	V-A	A-3
T	TICKETS	01-109277	95 S.F.	V-B	B
U	FIELD HOUSE	01-109277	2,496 S.F.	V-B	E-1
V	STORAGE	UNKNOWN	960 S.F.	UNK.	UNK.
W	CONCESSIONS/TOILETS	01-109277	1,695 S.F.	V-B	B
X	POOL EQUIPMENT	01-112909	590 S.F.	V-B	E-1

GENERAL NOTES

- A. THIS SITE PLAN IS PROVIDED TO SHOW THE EXTENT OF THE SCHOOL PROPERTY AND ESTABLISH THE GENERAL AREA OF WORK ONLY. REFER TO LARGER SCALE DRAWINGS FOR DETAILED SCOPE OF WORK.
- B. BOUNDARY OR PROPERTY LINES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR HORIZONTAL CONTROL OR ONSITE CONSTRUCTION LOCATING.
- C. ONLY ACCESSIBILITY PATH OF TRAVEL IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS HAS BEEN EVALUATED TO BE COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS. COMPLIANCE OF PATHS OTHER THAN THOSE INDICATED HEREIN IS NEITHER CONFIRMED OR IMPLIED.

PATH OF TRAVEL STATEMENT

D.A. PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. D.A. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM HEIGHT AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL ABOVE 27" AND BELOW 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

NOTE: DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATION, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARSHNESS ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CBC COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

KEYNOTES

LEGEND

- AC PAVING, REFER TO CIVIL DRAWINGS
- CONCRETE PAVING, REFER TO CIVIL DRAWINGS
- (E) BUILDING - NOT IN SCOPE OF WORK
- (E) LANDSCAPE
- (E) PROPERTY LINE
- (E) ACCESSIBLE PATH OF TRAVEL PER DSA #01-112909
- PROPOSED ACCESSIBLE PATH OF TRAVEL

PARKING ANALYSIS

EXISTING PARKING LOT 1	
TOTAL PARKING SPACES	112
ACCESSIBLE SPACES REQUIRED (STANDARD+VAN)	5 (1 VAN MIN.)
STANDARD ACCESSIBLE SPACES PROVIDED	4
VAN ACCESSIBLE SPACES PROVIDED	1
TOTAL ACCESSIBLE SPACES PROVIDED (STANDARD+VAN)	5

EXISTING PARKING LOT 2	
TOTAL PARKING SPACES	109
ACCESSIBLE SPACES REQUIRED (STANDARD+VAN)	5 (1 VAN MIN.)
STANDARD ACCESSIBLE SPACES PROVIDED	3
VAN ACCESSIBLE SPACES PROVIDED	2
TOTAL ACCESSIBLE SPACES PROVIDED (STANDARD+VAN)	5

EXISTING PARKING LOT 3	
TOTAL PARKING SPACES	4
ACCESSIBLE SPACES REQUIRED (STANDARD+VAN)	1 (1 VAN MIN.)
STANDARD ACCESSIBLE SPACES PROVIDED	1
VAN ACCESSIBLE SPACES PROVIDED	1
TOTAL ACCESSIBLE SPACES PROVIDED (STANDARD+VAN)	2

EXISTING PARKING LOT 4	
TOTAL PARKING SPACES	14
ACCESSIBLE SPACES REQUIRED (STANDARD+VAN)	2 (1 VAN MIN.)
STANDARD ACCESSIBLE SPACES PROVIDED	1
VAN ACCESSIBLE SPACES PROVIDED	1
TOTAL ACCESSIBLE SPACES PROVIDED (STANDARD+VAN)	2

PACIFIC GROVE UNIFIED SCHOOL DISTRICT
PACIFIC GROVE HIGH SCHOOL
SITE IMPROVEMENTS

SHEET TITLE:

ACCESS COMPLIANCE PLAN

Revision Schedule

NO.	Description	Date
3	Addendum 03	9/24/26

PROJECT #
25.054

ISSUE DATE:
07/22/2026

SHEET #

A0.11

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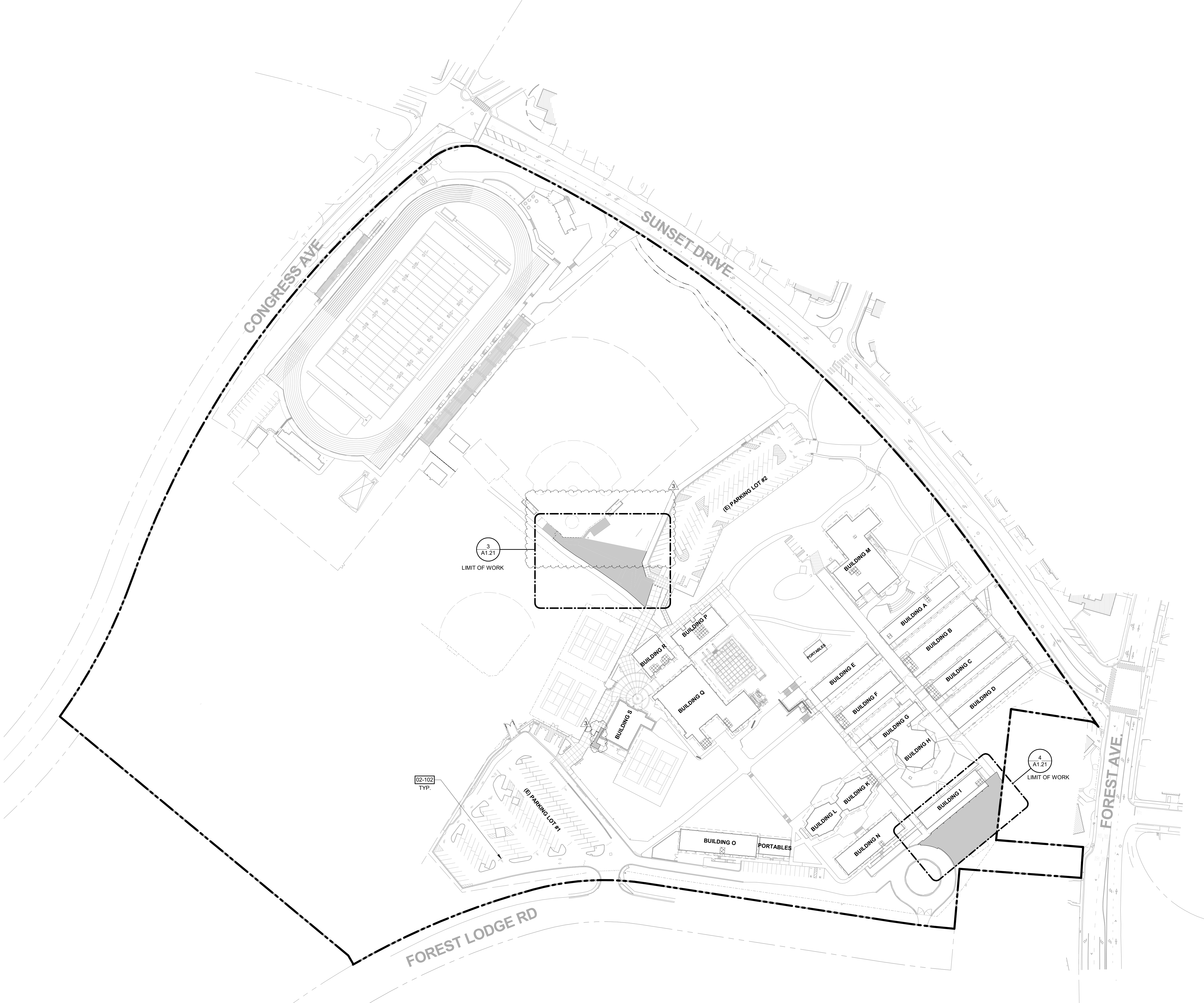
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1

CAMPUS DEMO SITE PLAN

SCALE: 1" = 80'-0"



SHEET NOTES

A. NO DEMOLITION SHALL BEGIN UNTIL PLANS, INCLUDING THE DEMOLITION WORK HAVE BEEN APPROVED BY DSA. SAFE OFF ALL UTILITIES, AS REQUIRED FOR DEMOLITION AND NEW WORK. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

KEYNOTES

02-102 REMEMOVE (E) BOLTED DOWN SPEED BUMPS AND PREP THE ASPHALT PAVEMENT FOR (N) SPEED BUMPS INSTALLATION

LEGEND

- REMOVE (E) AC PAVING, (E) CONC. PAVING, AND/OR (E) LANDSCAPING AS REQUIRED FOR NEW WORK. PROTECT (E) UTILITIES TO REMAIN. COORDINATE WITH CIVIL DRAWINGS
- (E) BLDG

(E) BUILDING - NOT IN SCOPE OF WORK
- PROPERTY LINE

PACIFIC GROVE UNIFIED SCHOOL DISTRICT

PACIFIC GROVE HIGH SCHOOL

SITE IMPROVEMENTS

615 SUNSET DR.
PACIFIC GROVE, CA 93950

SHEET TITLE:
CAMPUS DEMO SITE PLAN

Revision Schedule		
NO.	Description	Date
3	Addendum 03	9/24/26

PROJECT #
25.054

ISSUE DATE:
07/22/2026

SHEET #
A1.01

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9/24/2026 10:59:45 AM
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0' 40' 1"=40'-0" 20' 1"=20'-0" 10' 1"=10'-0" 0' 8' 16' 1/16"=1'-0" 0' 4' 8' 1/8"=1'-0" 0' 2' 4' 1/4"=1'-0" 0' 1' 1/2"=1'-0" 0' 6" 1' 3/4"=1'-0" 2' 3"=1'-0" 8" 3"=1'-0"

1 CAMPUS SITE PLAN
SCALE: 1" = 80'-0"



SHEET NOTES

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- C. ONLY ACCESSIBILITY PATH OF TRAVEL IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS HAS BEEN EVALUATED TO BE COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS. COMPLIANCE OF PATHS OTHER THAN THOSE INDICATED HEREIN IS NEITHER CONFIRMED OR IMPLIED

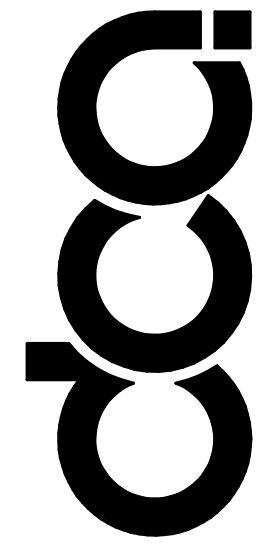
KEYNOTES

- 02-003 (E) EXTERIOR DOOR TO REMAIN LOCKED FOR STUDENTS & STAFFS
- 10-009 ATTACH NON-EDUCATIONAL USE SIGNAGE TO THE BUILDING AT DOOR ENTRANCES. SEE DETAIL 18/A1.23
- 32-006 NEW ASPHALT BUMP WITH STRIPING. TO BE IN SIMILAR LOCATION OF THE EXISTING SPEED BUMP. SEE CIVIL DETAIL 7/C6.01
- 32-008 GALVANIZED CHAIN LINK FENCE. REFER TO DETAIL 3/A1.23 & 7/A1.23. SIMILAR HEIGHT TO MATCH (E) ADJACENT FENCE

LEGEND

- AC PAVING, REFER TO CIVIL DRAWINGS
- CONCRETE PAVING, REFER TO CIVIL DRAWINGS
- BLDG (E) BUILDING - NOT IN SCOPE OF WORK
- (E) RESTROOM
- (E) LANDSCAPE
- PROPERTY LINE

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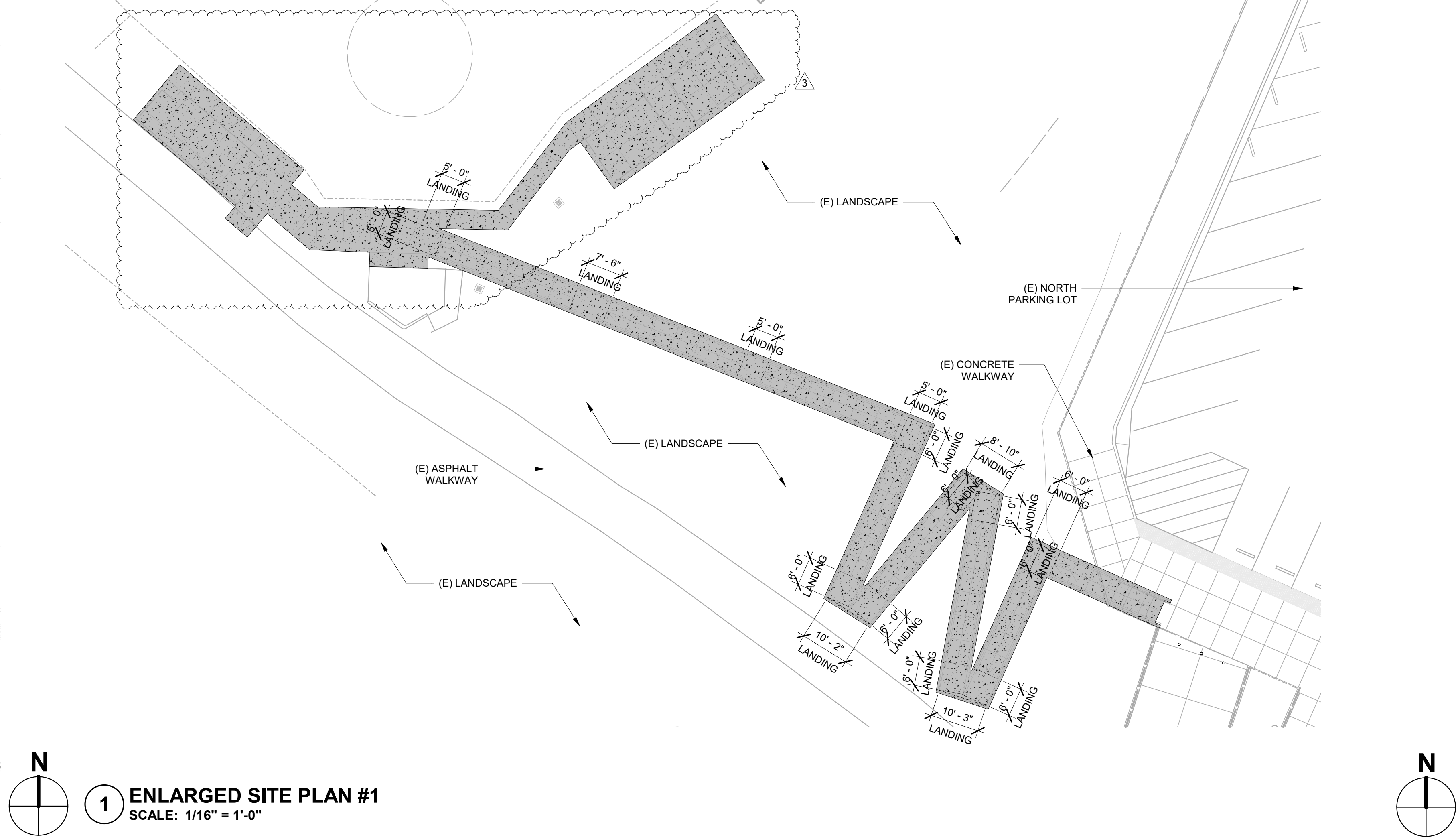
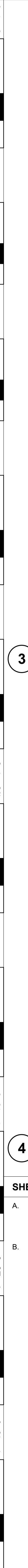
SHEET TITLE:
CAMPUS SITE PLAN

Revision Schedule		
NO.	Description	Date
3	Addendum 03	9/24/26

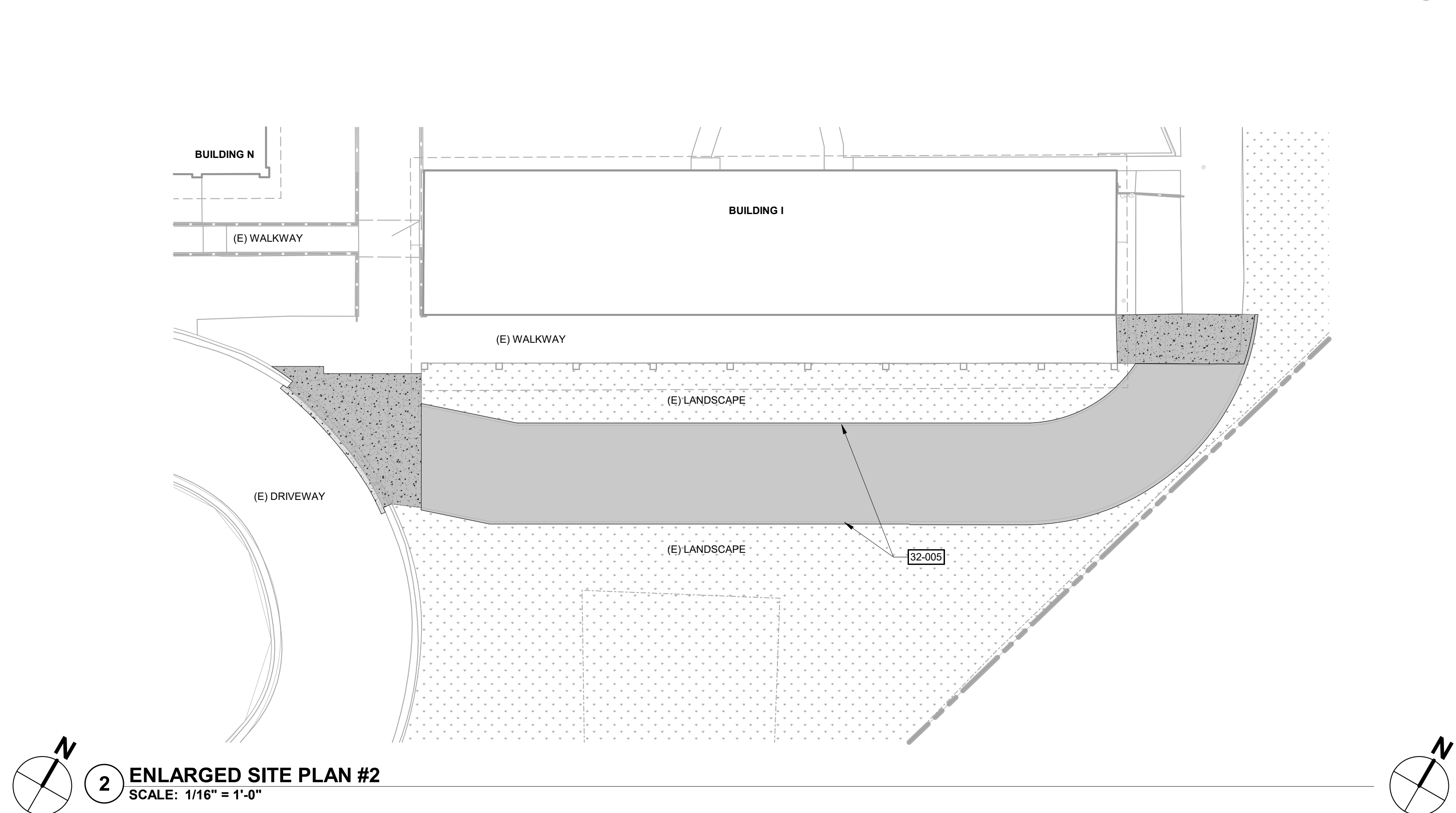
PROJECT #
25.054

ISSUE DATE:
07/22/2026

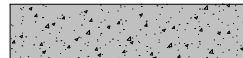
SHEET #
A1.11



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LEGEND	
	PREP THE SITE AS REQUIRED FOR NEW WORK. REMOVE (E) AC PAVING, (E) CONC. PAVING, AND/OR (E) LANDSCAPING AS NECESSARY FOR NEW WORK. PROTECT (E) UTILITIES TO REMAIN. COORDINATE WITH CIVIL DRAWINGS
	AC PAVING. REFER TO CIVIL DRAWINGS
	CONCRETE PAVING, REFER TO CIVIL DRAWINGS

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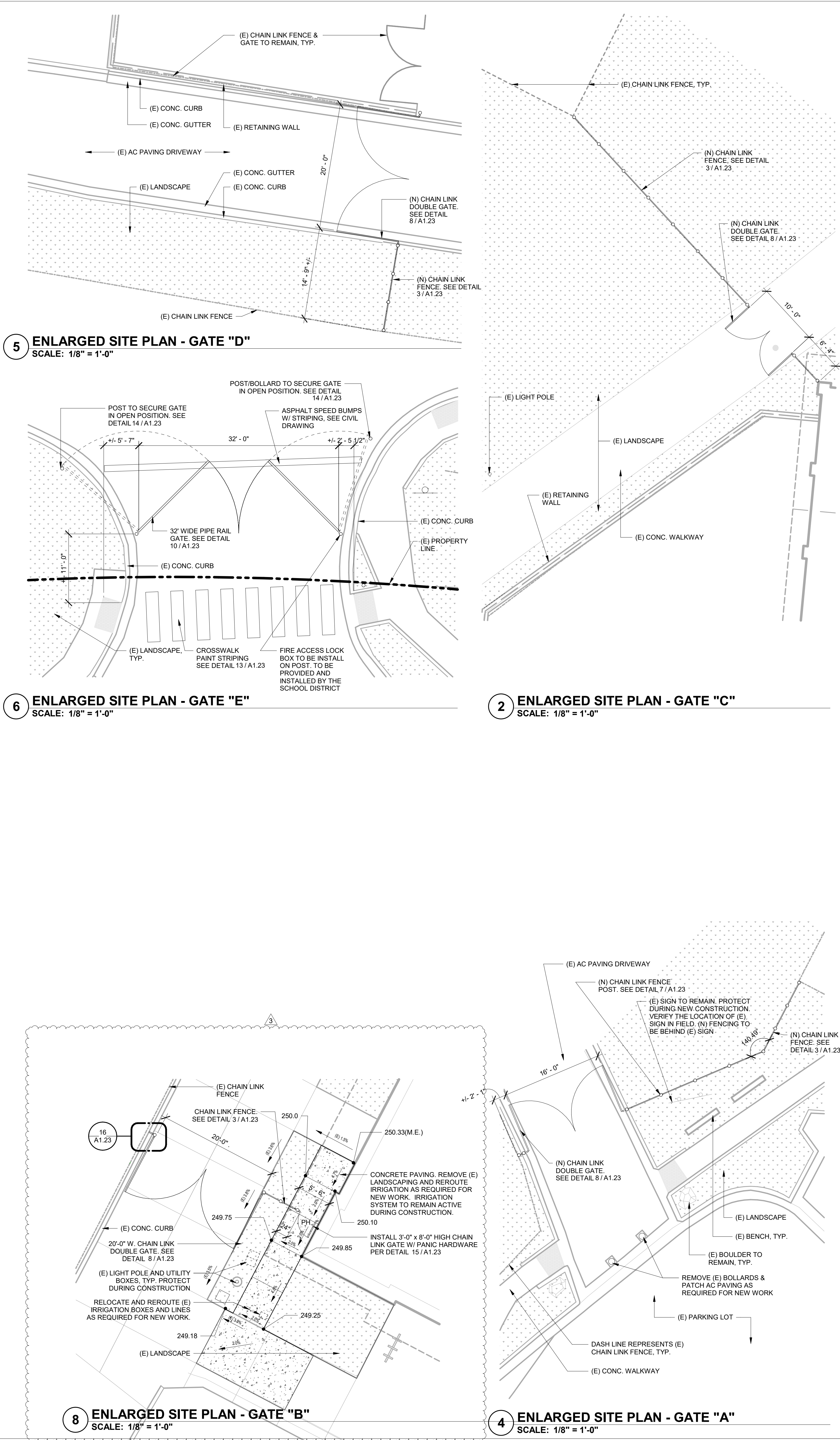
615 SUNSET DR.
PACIFIC GROVE, CA 93950

SHEET TITLE:

SITE DETAILS

PROJECT # 25.054	SHEET # A1.21
ISSUE DATE: 07/22/2026	

A1.21



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PACIFIC GROVE UNIFIED SCHOOL DISTRICT

PACIFIC GROVE HIGH SCHOOL

SITE IMPROVEMENTS

615 SUNSET DR.

PACIFIC GROVE, CA 93950

SHEET TITLE:

SITE DETAILS

Revision Schedule		
NO.	Description	Date
3	Addendum 03	9/24/26

PROJECT #

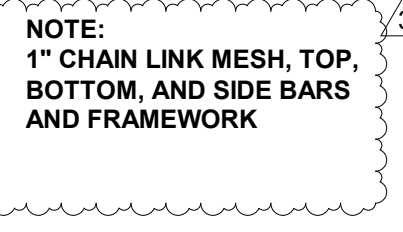
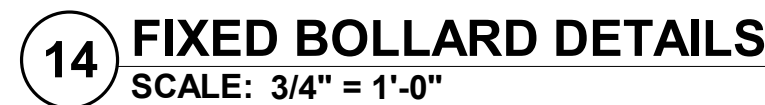
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ISSUE DATE:

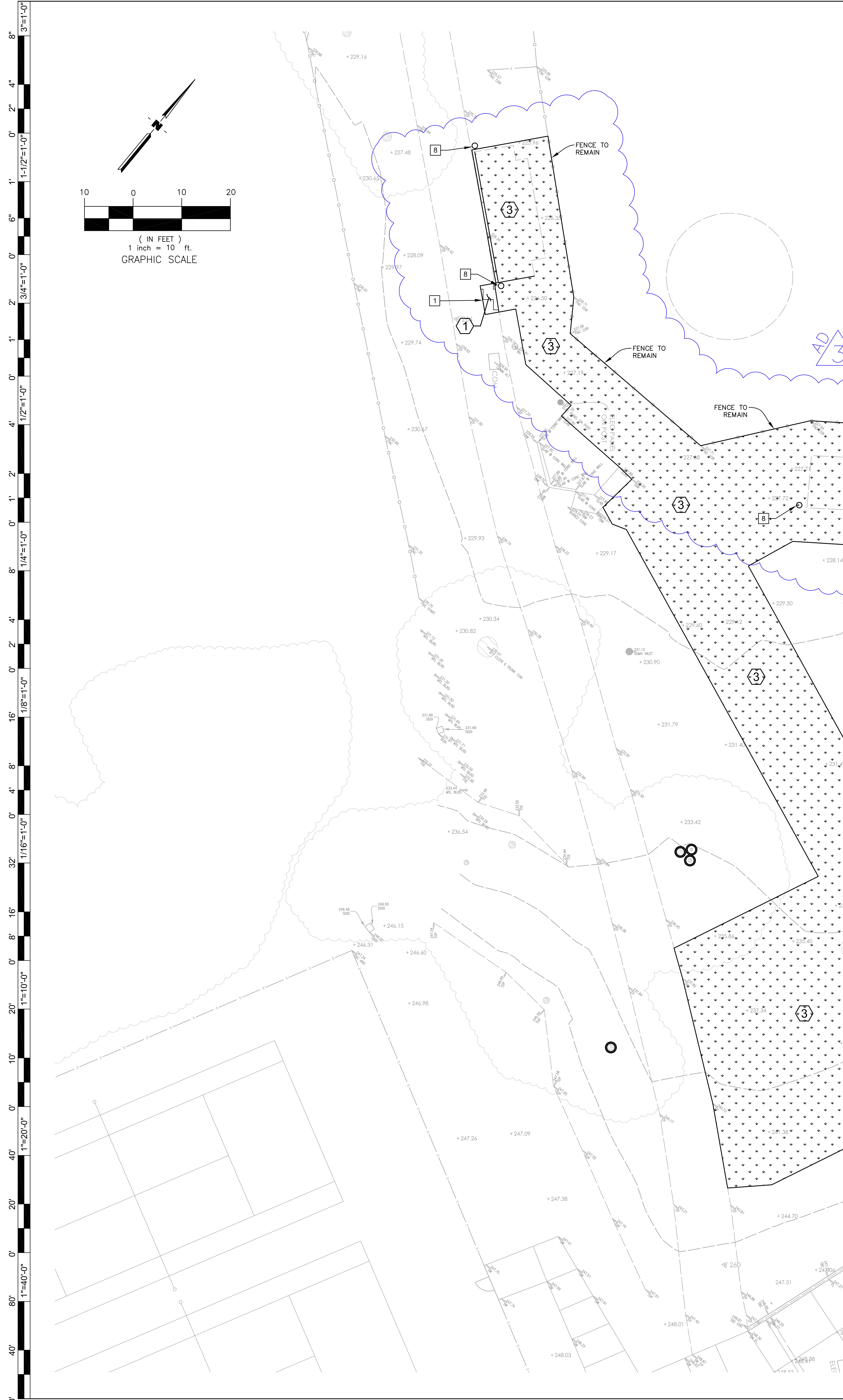
07/22/2026

SHEET #

A1.22



M:\262 - Pacific Grove HS\DWG\3262_C1.1_DEMO.dwg 9-24-26 09:18:44 AM M:\KAC continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.



DEMOLITION LEGEND

	DESCRIPTION	SYMBOL
	TREE TO REMAIN. PROTECT FROM DAMAGE. SEE SPECIAL PROVISION 01 56 39 TREE AND PLANT PROTECTION AND LANDSCAPE DRAWINGS FOR TREE PROTECTION NOTES.	
	TREE TO BE REMOVED. REMOVE ALL ROOTS.	
KEYNOTE	DESCRIPTION	SYMBOL
1	ASPHALT PAVING & AGGREGATE BASE ROCK TO RE REMOVED. REMOVE HEADER BOARD, TYP.	
2	CONCRETE TO BE REMOVED. REMOVE AGGREGATE BASE.	
3	SHRUBS AND/OR LANDSCAPING TO BE REMOVED. GRUB OUT ALL VEGETATION / REMOVE BARK / WOOD CHIPS. REMOVE PLANTER BOXES. REMOVE ANY IRRIGATION LINES OR VALVES.	
4	FENCE / GATES/ FOUNDATIONS TO BE REMOVED	
KEYNOTE	DESCRIPTION	
1	SAWCUT ASPHALT OR REMOVE CONCRETE TO NEAREST CONTROL JOINT	
2	REMOVE CURB / CURB & GUTTER / VALLEY GUTTER	
3	EXTENT OF REMOVAL OF CURB / CURB & GUTTER / VALLEY GUTTER	
4	POLE / POST/ COLUMN / BOLLARD / HANDRAIL / FENCE / GATE TO REMAIN. PROTECT FROM DAMAGE.	
5	STORM LINES, DRAIN INLET, SDMH, SDCO TO REMAIN. PROTECT FROM DAMAGE. ADJUST RIM TO NEW FG.	
6	EXTENT OF FENCE / GATES / FOUNDATION REMOVAL	
7	REMOVE POLE / BOLLARD AND FOUNDATION	
8	REMOVE & RELOCATE TRASH CANS AS DIRECTED BY THE DISTRICT	

NOTES:

- THE LIMITS OF DEMOLITION SHOWN HEREON ARE TO PROVIDE THE CONTRACTOR WITH A GENERAL SCOPE OF WORK. PRECISE LIMITS OF PAVEMENT REMOVAL AND GRADING SHOULD BE TAKEN FROM THE GRADING AND DRAINAGE PLAN. THE CONTRACTOR SHOULD ALSO REFERENCE LANDSCAPE ARCHITECT PLANS, ARCHITECTURAL PLANS, AND THE CONSTRUCTION DOCUMENTS FOR A COMPLETE SCOPE OF WORK. (VERIFY ALL DEMOLITION WITH THE SCHOOL DISTRICT).
 - DEMOLITION WORK SHALL CONFORM TO CAL GREEN CODE SECTIONS 5.408.3 (CONSTRUCTION WASTE REDUCTION BY AT LEAST 50%) AND 5.408.4 (EXCAVATED SOIL AND LAND CLEARING DEBRIS), AND LOCAL CONSTRUCTION WASTE MANAGEMENT REQUIREMENTS. THE MOST STRINGENT CODE SHALL PREVAIL.
 - ALL SIGNS, POSTS, AND FOOTINGS TO BE REMOVED WITHIN THE LIMITS OF DEMOLITION UNLESS NOTED OTHERWISE.
 - REFER TO ORIGINAL DESIGN DRAWINGS, AVAILABLE FROM DISTRICT, FOR EXISTING BUILDINGS (FOOTINGS, MATERIALS, ETC.).
 - EXISTING TURF TO REMAIN. LANDSCAPE CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR IF REPLACEMENT IS REQUIRED DUE TO STAGING, CONSTRUCTION ACCESS, OR CONSTRUCTION ACTIVITY. REPAIR WITH SOD TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. TURF AREAS FENCED DURING CONSTRUCTION SHALL BE MAINTAINED (MOWED, WATERED, AND FERTILIZED) BY CONTRACTOR.
- WHERE NEW SOD IS INSTALLED, SHOVEL CUT EDGE OF EXISTING TURF VERTICAL AND STRAIGHT. AMEND SOIL AND GRADE TO RECEIVE NEW SOD FLUSH WITH EXISTING EDGES. DO NOT SCALE SOD REPAIR FROM THIS DRAWING. COORDINATE WITH GENERAL CONTRACTOR FOR EXTENT OF REPAIR REQUIRED TO RESTORE TURF DUE TO CONSTRUCTION ACTIVITY.

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PACIFIC GROVE HIGH SCHOOL
SITE IMPROVEMENTS
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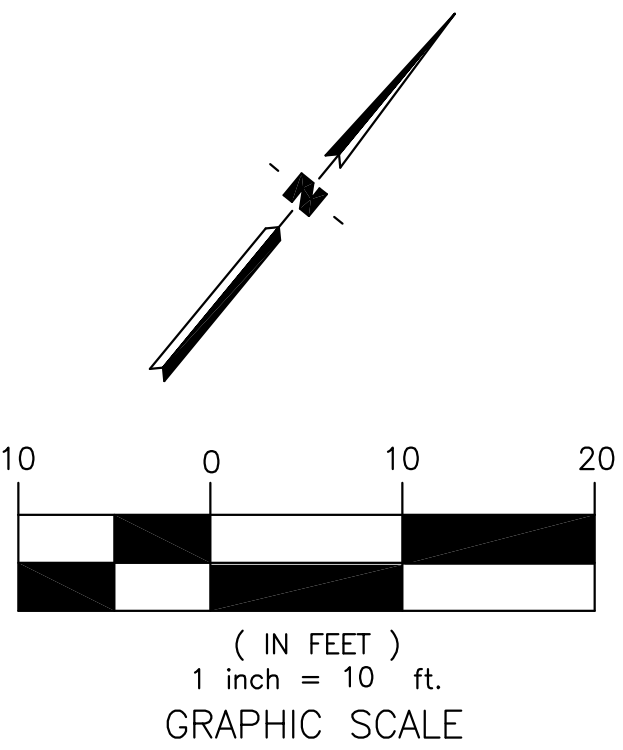
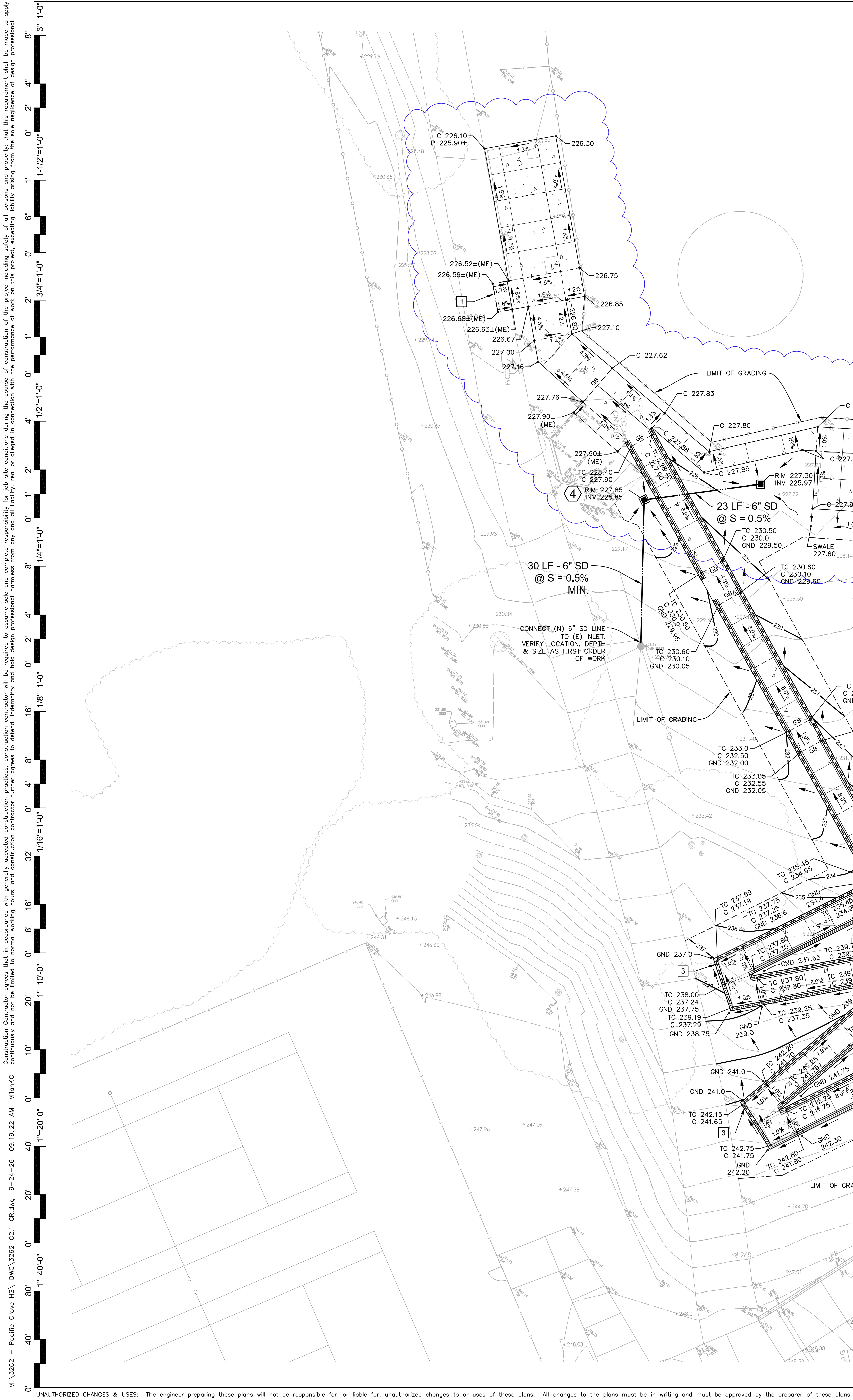
SHEET TITLE:
DEMOLITION PLAN

CONSTRUCTION DOCUMENTS

Revision Schedule		
NO.	Description	Date

PROJECT #
DCA 25.054
CEI 3262
ISSUE DATE:
07/22/2026

SHEET #
C1.1



GRADING CONSTRUCTION DETAIL REFERENCES

KEYNOTE	DETAIL NAME	SYMBOL	DETAIL REFERENCE
1	FLUSH VERTICAL CURB		1 / C6.01
2	VERTICAL CURB		2 / C6.01
3	DRIVEWAY		3 / C6.01
4	12" STORM DRAIN INLET		4 / C6.01
5	CONCRETE CURB WALL		6 / C6.01

GRADING PLAN NOTES

KEYNOTE	DETAIL NAME
1	SAWCUT AND CONFORM TO (E) ASPHALT
2	CONFORM TO (E) CONCRETE AT NEAREST CONTROL JOINT
3	PROVIDE 2\"/>
4	CLEAN OUT DEBRIS & HYDROJET STORM DRAIN SYSTEM TO BE FREE FLOWING. SEE UNDERGROUND NOTE #8 / SHEET C0.1
5	2 LF - CURB TRANSITION (0'-6\")

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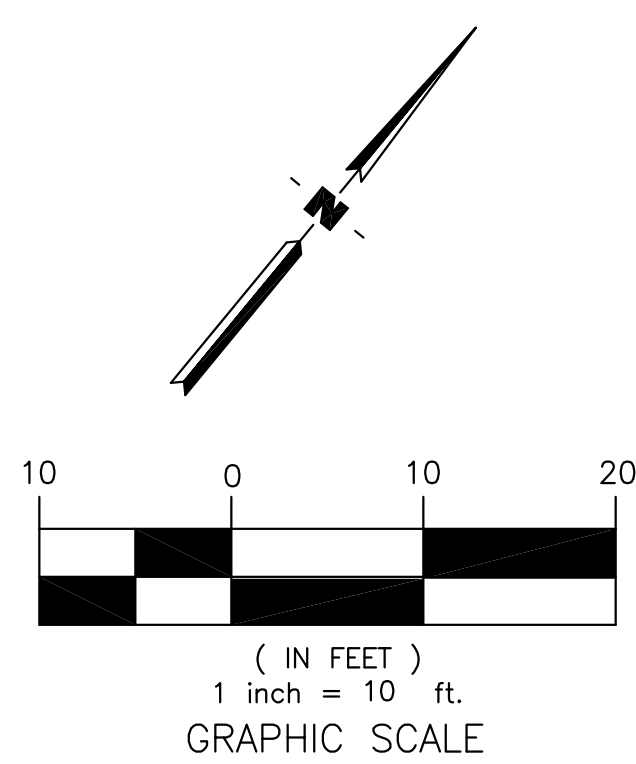
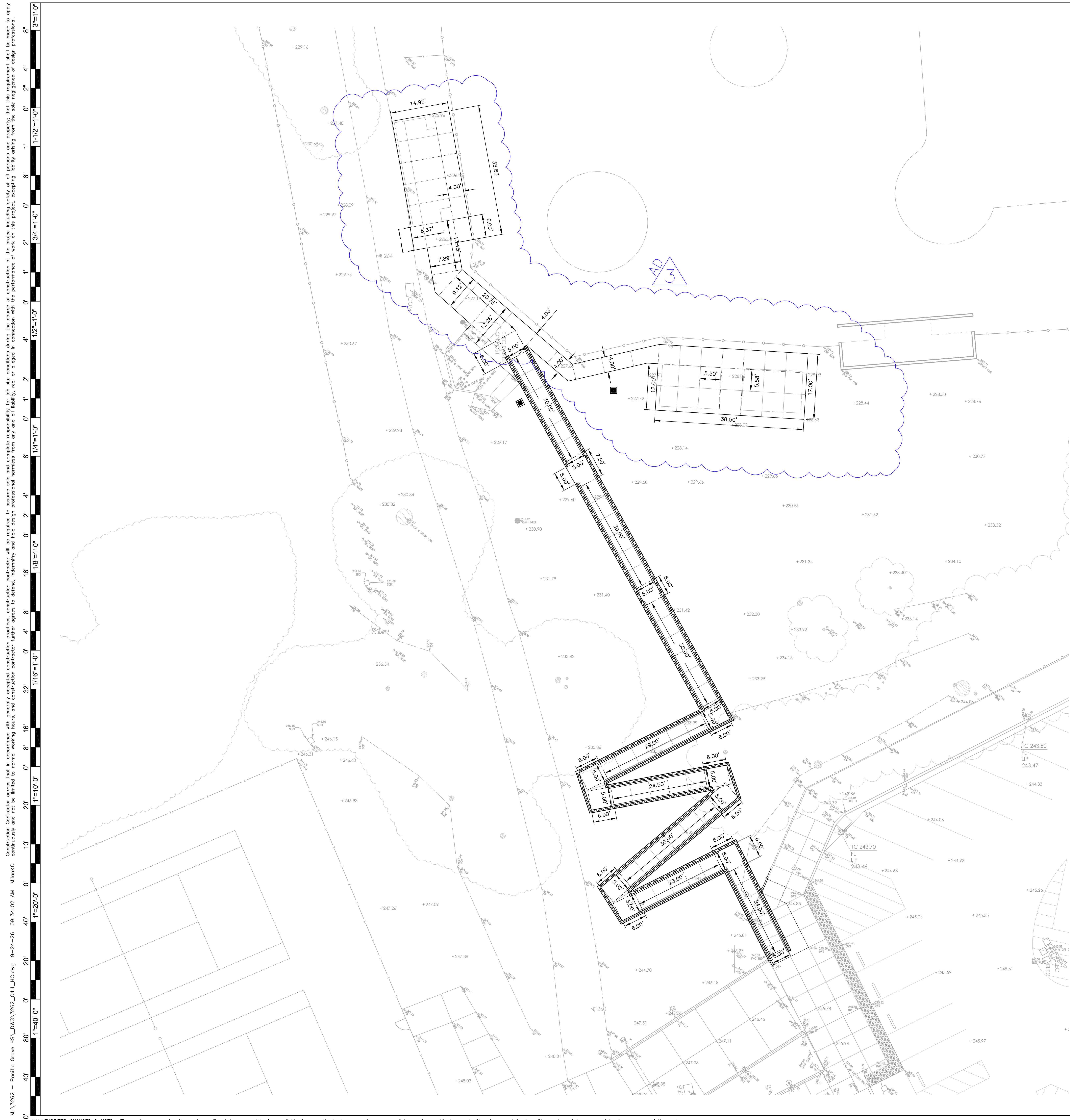
GRADING & DRAINAGE
PLAN

CONSTRUCTION DOCUMENTS

Revision Schedule		
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DCA 25.054
CEI 3262
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SHEET #
C2.1



PAINT & SIGNAGE LEGEND

DETAIL NAME	SYMBOL
FIRE LANE OR BUS STOP - NO PARKING (RED PAINT)	

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SHEET TITLE:

HORIZONTAL CONTROL PLAN

CONSTRUCTION DOCUMENTS

Revision Schedule		
NO.	Description	Date

PROJECT # DCA 25.054 CEI 3262	SHEET # C4.1
ISSUE DATE: 07/22/2026	











